



ARTS DISTRICT
FOR LEASE
178,250 SF

CREATIVE OFFICE
BUILDING

DIVISIBLE TO 1,920 SF

1700 **SANTAFE**
AVENUE

LOS ANGELES • CALIFORNIA • 90021

FOR LEASE

1700 SANTA FE AVENUE

LOS ANGELES • CALIFORNIA • 90021

PROPERTY HIGHLIGHTS

- 178,250 SF Creative Office Campus
- Divisible from a Full Floor (35,140 SF) to 1,920 SF (Submit Your Size Requirement)
- Incredible Windows on all Four Sides
- 35,140 SF Floor Plates
- Located at Olympic Blvd and Santa Fe Ave
- 8 Blocks South of The Arts District
- Rare Opportunity to Occupy a One of a Kind Space
- Abundant Fenced Parking

1700 Santa Fe Owner Welcomes Susanne Vielmetter Los Angeles Projects to the building

PRICING SUMMARY

- Lease Rate: \$1.90 PSF/Mo Modified Gross (for Unit 201)
- Available as 1,920 SF; 3,000 SF; 5,000 SF; 7,500 SF; 10,000 SF; 15,000 SF; 20,000 SF; 35,140 SF & Up to 165,000 SF

Tenant/Buyer should verify with reputable consultants all aspects of this brochure and the property including office size, building & land size, if the building size includes any interior dock areas and mezzanine areas, type and age of building, structural condition of the building, ceiling clearance, power, sprinkler calculation, zoning, permitted uses within the building, parking count, any building measurements, number and type of loading doors, if any existing HVAC units work and their life expectancy, roof condition, any city potential incentive areas, any unpermitted improvements, if any existing elevators work, floor loads for every floor and if the floor load is adequate for Tenant/Buyer's product weight and product types and use, etc. Tenant/Buyer should also hire experts including but not limited to (Architect, Structural Engineer, Surveyor, Contractor, Environmental Consultant) to verify the condition of the above items in this disclosure and all aspects of the property and confirm with the appropriate Governmental Agency that the property zoning and building use (Certificate of Occupancy) and all aspects of the improvements including any office areas are acceptable to Tenant/Buyer in order for Tenant/Buyer to occupy all areas of the building legally. Lee & Associates-Commerce Inc. strongly recommends that the above items be completed prior to Lease execution or waiver of any contingencies for a purchase. Broker also advises Tenant/Buyer to obtain any required use permits and business licenses prior to lease execution or waiver of buyer contingencies and have their Attorney review any Lease or Purchase Contract prior to execution.

FOR MORE INFORMATION,
PLEASE CONTACT

MIKE D. SMITH

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323.767.2109

mdsmith@lee-associates.com

RON YOUNG

Principal | LIC ID 01009947

323.767.2106

rsyoung@lee-associates.com

LOCAL EXPERTISE. INTERNATIONAL REACH. WORLD CLASS.



LEE & ASSOCIATES - COMMERCE, INC. | CORP ID 01125429
500 Citadel Drive, Suite 140, Los Angeles, California 90040
P: 323.767.2109 | F: 323.767.2029 | LEE-ASSOCIATES.COM

TEAMLA.COMMERCIAL.COM

The information has been furnished from sources which we deem reliable, but for which we assume no liability. Any projections, opinions, assumptions or estimates used are for example only and do not represent the current or future performance of the property. Buyers/Tenants should consult with their independent advisors to determine if the property is suitable for their needs.

SIZES & CEILING CLEARANCES

	SIZE	CLEARANCE
1 ST FLOOR	35,140 SF	16'
2 ND FLOOR	35,140 SF	12'
3 RD FLOOR	35,140 SF	12'
4 TH FLOOR	35,140 SF	12'
BASEMENT	35,140 SF	7' - 10'

- Tenant Must Verify all Sizes and Clearances





**PROPERTY
PHOTOS**

**1700 SANTA FE
AVENUE**

LOS ANGELES • CALIFORNIA • 90021

1700 S SANTA FE AVE • LOS ANGELES

FOR LEASE

178,250 SF CREATIVE CAMPUS ON 104,000 SF OF LAND

PROPERTY PHOTO



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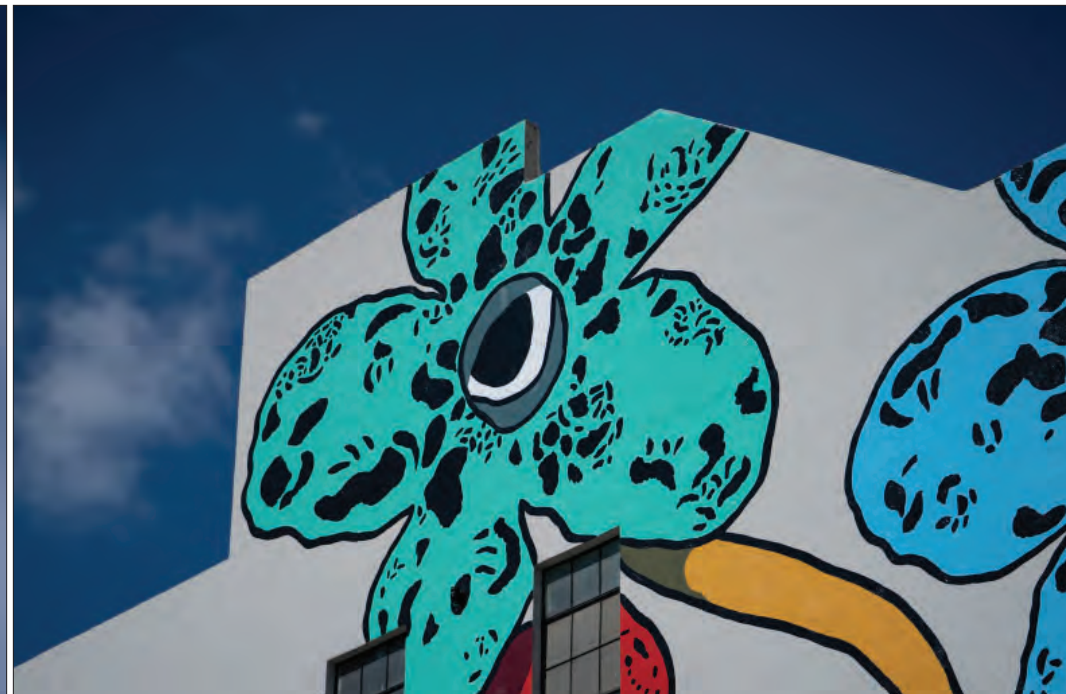


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PROPERTY PHOTOS



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MINUTES FROM DTLA & THE ARTS DISTRICT

DOWNTOWN LOS ANGELES

ARTS DISTRICT

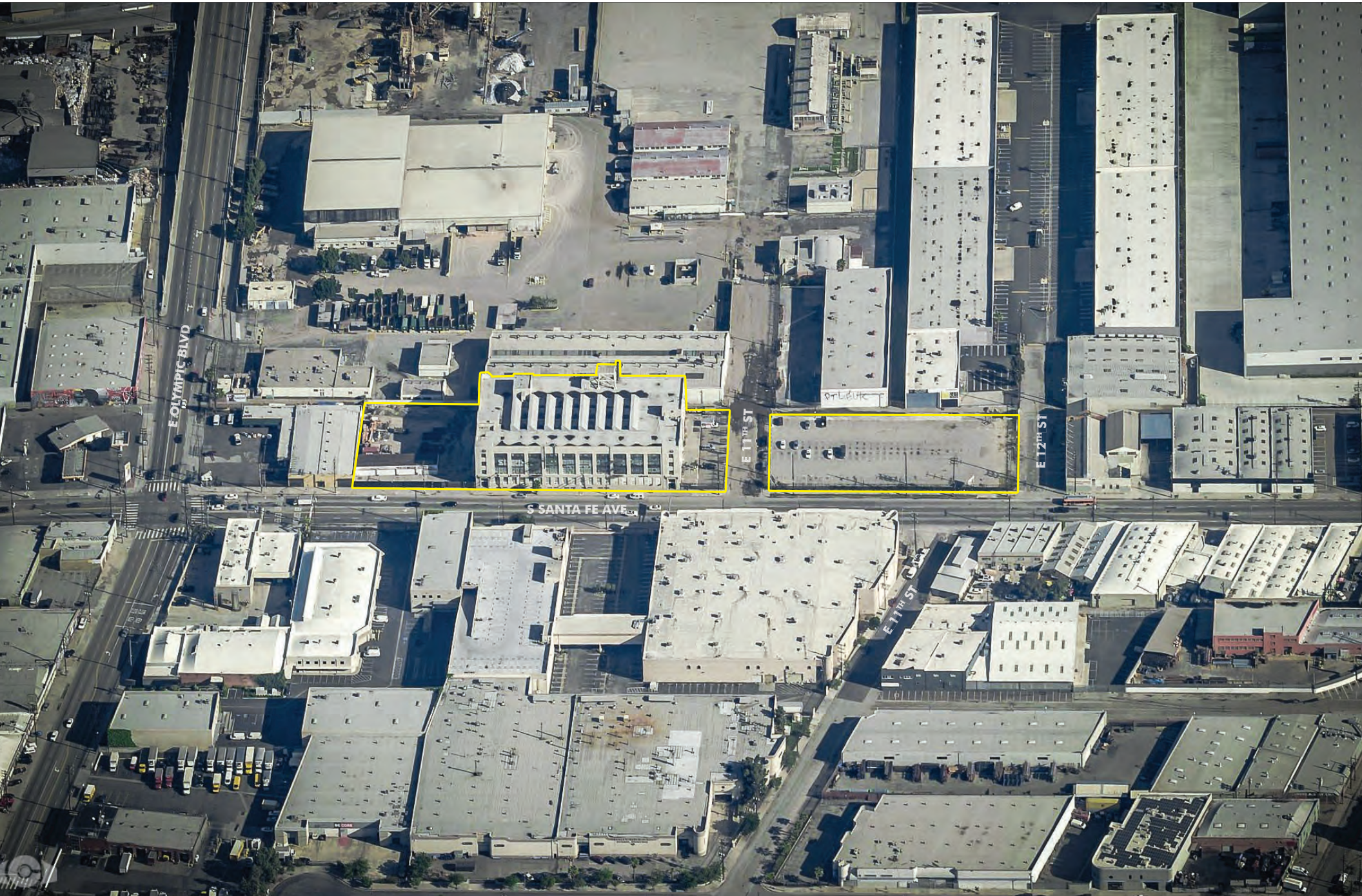


1700 S SANTA FE AVE • LOS ANGELES

FOR LEASE

178,250 SF CREATIVE CAMPUS ON 104,000 SF OF LAND

PROPERTY AERIAL



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 88 AND TRACT 136 TO 144, BOTH INCLUSIVE, OF M.L. WICK'S SUBDIVISION OF LOTS 204 AND 350 OF SOUTH AND PORTER TRACT AND THE EAST PORTION OF GERMAN AND ARCHDALE TRACT, AND PART OF KEROHEVAL TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17 PAGE 30 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID PARCEL 1 IS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 52 PAGES 5 TO 8 INCLUSIVE OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOT 8 OF TRACT NO. 8769, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 122 PAGES 36 AND 37 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID PARCEL 2 IS SHOWN ON THE RECORD OF SURVEYS FILED IN BOOK 52 PAGES 5 TO 8 INCLUSIVE OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5168-001-004, 5168-003-007

THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS TCDR TITLE, ORDER NO. 03081742-988-BLA, DATED NOVEMBER 21, 2015.

BASIS OF BEARINGS:

THE BEARING SOUTH 03°01'30" WEST BEING THE CENTERLINE OF SANTA FE AVENUE AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 52, PAGES 5 TO 8 OF RECORDS OF SURVEYS IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S NOTES:

THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.

THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.

THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.

ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.

AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.

NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF SURVEY.

NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.

THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.

UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

NOTES CORRESPONDING TO SCHEDULE "B":

5. EASEMENT(S) FOR ZANJA OR IRRIGATION DITCH AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT, RECORDED APRIL 3, 1974, IN BOOK 28 PAGE 463, OF DEEDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT IS NOT PLOTTED HEREON BECAUSE THE SUPPORTIVE DOCUMENT PROVIDED AT THE TIME OF SURVEY IS ILLEGIBLE.)

6. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED IN BOOK 2909 PAGE 242, OF DEEDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

7. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED PARTY WALL AGREEMENT, RECORDED IN BOOK 1457 PAGE 26, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

8. EASEMENT(S) FOR PIPELINES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT, RECORDED FEBRUARY 27, 1923, IN BOOK 1932 PAGE 213, OF OFFICIAL RECORDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT IS NOT PLOTTED HEREON BECAUSE THE EXACT LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM THE DESCRIPTION OF RECORDS.)

9. EASEMENT(S) FOR ALLEY AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT, RECORDED IN BOOK 14573 PAGE 307, OF OFFICIAL RECORDS. (THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.)

10. EASEMENT(S) FOR PIPELINE FOR TRANSPORTATION OF GAS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT, RECORDED JUNE 5, 1929 INSTRUMENT NO. 3955, OF OFFICIAL RECORDS. (THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.)

11. EASEMENT(S) FOR PIPELINE FOR SEWER AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT, RECORDED JUNE 5, 1929 INSTRUMENT NO. 3956, OF OFFICIAL RECORDS. (THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.)

12. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY; SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS, RECORDED MAY 22, 1996, INSTRUMENT NO. 96-800959, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

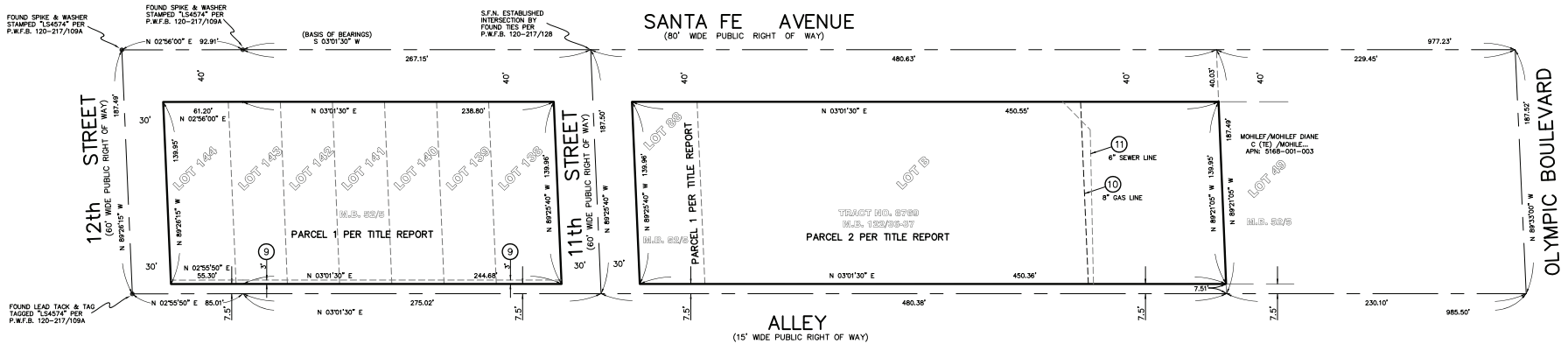
13. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY; SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS, RECORDED MAY 22, 1996, INSTRUMENT NO. 96-800960, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

14. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT REGARDING MAINTENANCE OF OFF-STREET PARKING SPACE EXECUTED BY OWNERS OF SAID LAND IN FAVOR OF CITY OF LOS ANGELES, RECORDED MAY 22, 1996, INSTRUMENT NO. 96-800961, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

15. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW AS DISCLOSED BY A DOCUMENT, RECORDED NOVEMBER 30, 2007, INSTRUMENT NO. 2007263425, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)



GRAPHIC SCALE: 1"=40'



PARKING STALLS:

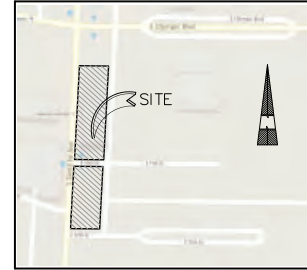
116 STANDARD STALLS
12 TRUCK STALLS

LAND AREA:

104,934 SQUARE FEET
2,409 ACRES

SITE RESTRICTIONS:

THE SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION PURSUANT TO TABLE A ITEM NO. 6(B).



VICINITY MAP
NO SCALE

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 060157-1638-F, WHICH BEARS AN EFFECTIVE DATE OF 9-26-08 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

UTILITY NOTE:

BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.

SURVEYOR'S CERTIFICATION:

TO: SUDOUTH COMPANY, LLC AND TCDR TITLE.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-4, 6(D), 7(C)(1)(c), 8, 9, 11(c), 13, 14, 16, 18 & 21(\$1,000,000) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 11-23-15

MICHAEL FURLONG, PLS 8859

LICENSE EXPIRES: 12/31/15

DATE OF LAST REVISION:

DRAFT

NO.	REVISIONS	DESCRIPTION	DATE	APPD	OWNER	BY	DATE	ACCEPTED AND APPROVED FOR CONSTRUCTION
					CONTRACTOR	BY	DATE	
					TEENANT	BY	DATE	

PROJECT ENGINEER:		O.K.O. ENGINEERING INC.	
		CIVIL ENGINEERS/SURVEYORS/STRUCTURAL & CAD SPECIALISTS	
		24871 BRIDGER DRIVE	
		LAKE FOREST, CALIFORNIA 92450	
		949/597-3577	
		FAX 949/597-3579	

SHEET TITLE	DATE	SCALE	DRAWN	CHECKED	M.F.
ALTA/ACSM LAND TITLE SURVEY	11/23/15	1"=40'	OKO		
SITE:					
1700 & 1800 S. SANTA FE AVENUE					
LOS ANGELES, CALIFORNIA					
SHEET NO.	1	3			

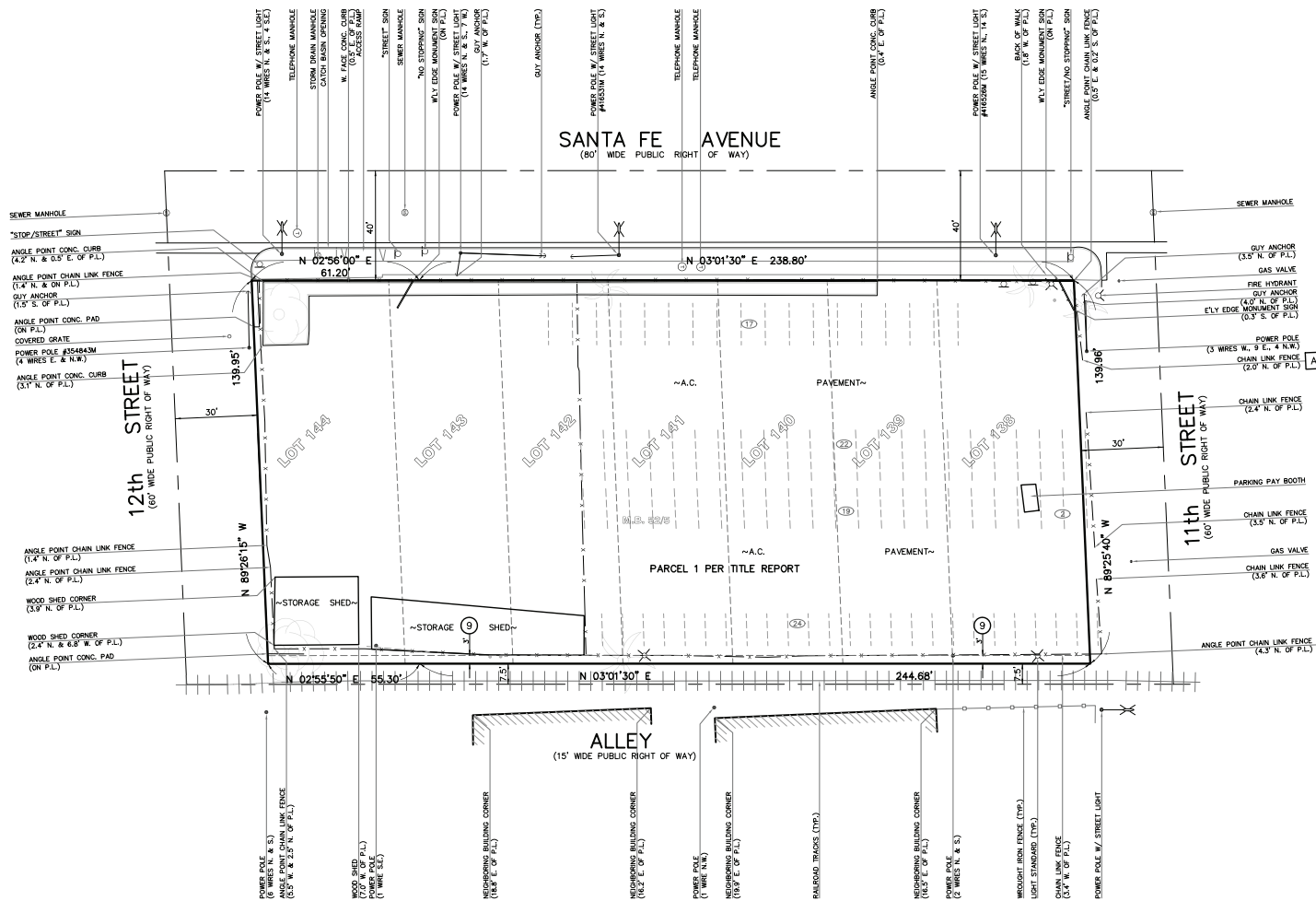
LEGEND

N	---	NORTH
S	---	SOUTH
E	---	EAST
W	---	WEST
TYP.	---	TYPICAL
DIA.	---	DIAMETER
P.L.	---	PROPERTY LINE
NO.	---	NUMBER
A.C.	---	ASPHALT CONCRETE
R.	---	RECORD
M.	---	MEASURE
C.L.	---	CENTER LINE
P.O.B.	---	POINT OF BEGINNING
CONC.	---	CONCRETE
FOUN.	---	FOUND
W/	---	WITH
E.L.Y.	---	EASTERLY
W.L.Y.	---	WESTERLY
L/A	---	LANDSCAPED AREA
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(100)	---	NUMBER OF PARKING STALLS

STATEMENT OF ENCROACHMENTS:

* THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

- A CHAIN LINK FENCE LIES 2.0' NORTH OF PROPERTY LINE.
 B ANGLE POINT CHAIN LINK FENCE LIES 4.3' NORTH OF PROPERTY LINE.



NO.	DESCRIPTION	DATE	APPROVED FOR CONSTRUCTION
OWNER	BY	DATE	
TELEPHONE	BY	DATE	
CONTRACTOR	BY	DATE	
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS AND WITHOUT THE REQUIRED PERMITS BEING OBTAINED.			

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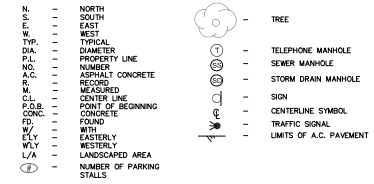
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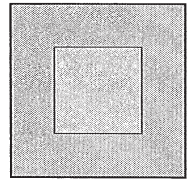
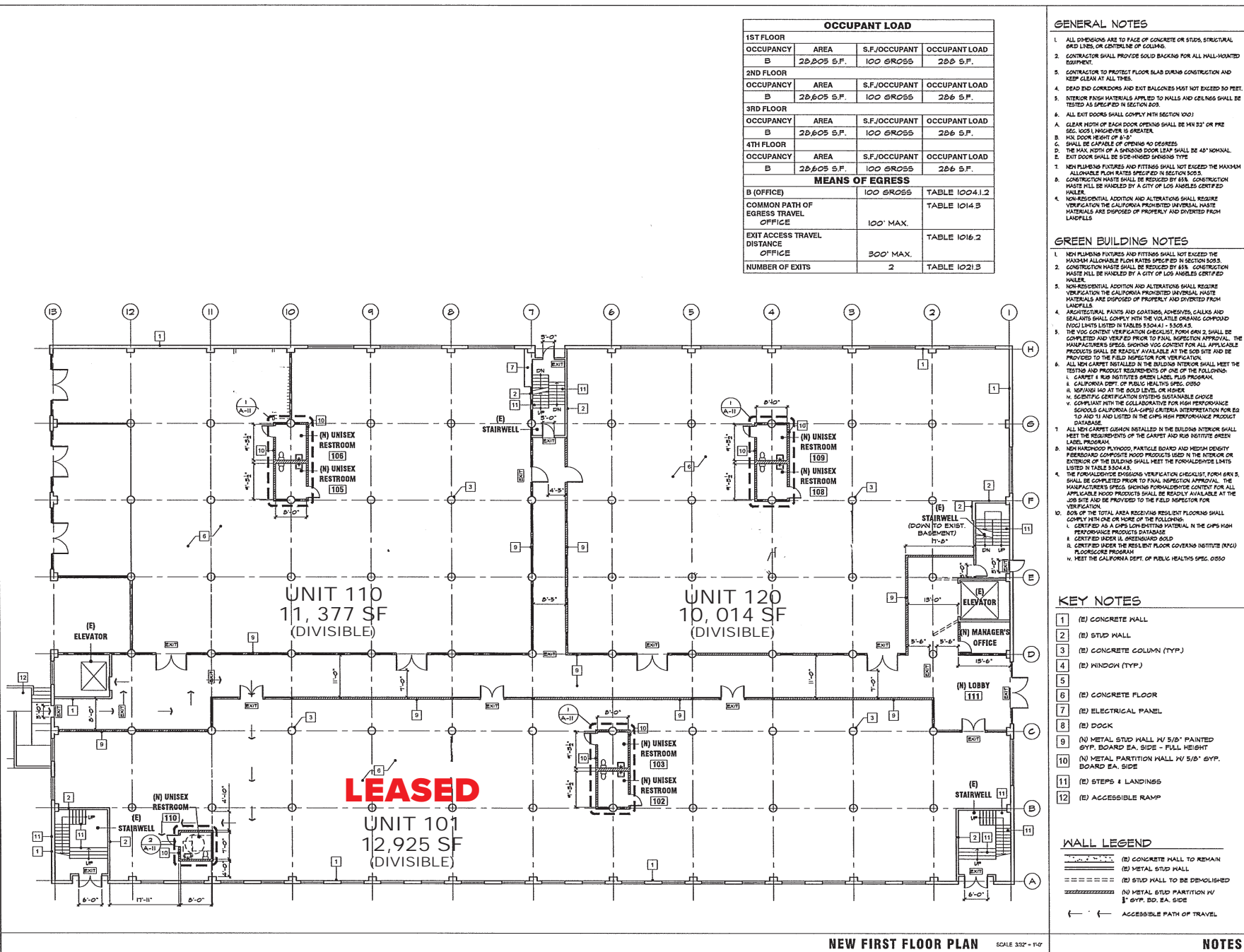
NO.	DESCRIPTION	DATE	APPROVED FOR CONSTRUCTION
OWNER	BY	DATE	
TELEPHONE	BY	DATE	
CONTRACTOR	BY	DATE	
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS AND WITHOUT THE REQUIRED PERMITS BEING OBTAINED.			

NO.	DESCRIPTION	DATE	APPROVED FOR CONSTRUCTION
OWNER	BY	DATE	
TELEPHONE	BY	DATE	
CONTRACTOR	BY	DATE	
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS AND WITHOUT THE REQUIRED PERMITS BEING OBTAINED.			

NO.	DESCRIPTION	DATE	APPROVED FOR CONSTRUCTION
OWNER	BY	DATE	
TELEPHONE	BY	DATE	
CONTRACTOR	BY	DATE	
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS AND WITHOUT THE REQUIRED PERMITS BEING OBTAINED.			



J.N. 2015-246



SEGAL/REA
ARCHITECTURE

P.O. Box 6108
Alhambra, CA 91803
Phone (626) 345-9765
FAX (626) 345-9243

ARCHITECT

DAYAN
INVESTMENTS
LLC

2301 E. 7TH ST.
Los Angeles, California
90023

CLIENT

PROPOSED

Tenant Improvement

DESCRIPTION

1700
S. SANTA FE
Los Angeles, CA

PROJECT

PROJECT NO.
DATE 7/5/17
DRAWN BY T.O.

REVISIONS

10/1/18 PER OWNER

10/2/17 PER PLAN CHECK

SHEET CONTENT

NEW FIRST
FLOOR PLAN

SHEET NUMBER

A-2

OCCUPANT LOAD			
1ST FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
2ND FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
3RD FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
4TH FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
MEANS OF EGRESS			
B (OFFICE)	100' GROSS	TABLE 1004.1.2	
COMMON PATH OF EGRESS TRAVEL	100' MAX.	TABLE 1014.3	
EXIT ACCESS TRAVEL DISTANCE	300' MAX.	TABLE 1016.2	
NUMBER OF EXITS	2	TABLE 1021.3	

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF CONCRETE OR STUD, STRUCTURAL BRAD NAILS OR CONTROLS OF COLLARS.
- CONTRACTOR SHALL PROVIDE SOLID BACKING FOR ALL WALL-MOUNTED EQUIPMENT.
- CONTRACTOR TO PROTECT FLOOR SLAB DURING CONSTRUCTION AND KEEP CLEAN AT ALL TIMES.
- DEAD END CORRIDORS AND EXIT BALCONIES MUST NOT EXCEED 50 FEET.
- INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE IDENTIFIED AS SPECIFIED IN SECTION 505.
- ALL EXIT DOORS SHALL COMPLY WITH SECTION 1004.
- CLEAR HEIGHT OF EACH DOOR OPENING SHALL BE MIN 82" OR PER SEC. 1005.1. HATCHWAYS IS GREATER.
- MIN. DOOR HEIGHT OF 81-1/2".
- SHALL BE CAPABLE OF OPENING 90 DEGREES.
- THE MAX. WIDTH OF A SHINGLES DOOR LEAF SHALL BE 48" MINIMUM.
- EXIT DOOR SHALL BE 500-HINGED SHINGLES TYPE.
- NO PLUMBING FITTINGS AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 505.5.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONSTRUCTION WASTE WILL BE HANDLED BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- NON-RESIDENTIAL ADDITION AND ALTERATIONS SHALL REQUIRE VERIFICATION THE CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.

GREEN BUILDING NOTES

- NO PLUMBING FITTINGS AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 505.5.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONSTRUCTION WASTE WILL BE HANDLED BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- NON-RESIDENTIAL ADDITION AND ALTERATIONS SHALL REQUIRE VERIFICATION THE CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.
- ARCHITECTURAL FINISHES AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 550.4.1 - 550.4.5.
- THE VOC CONTENT VERIFICATION CHECKLIST, FORM 690.3, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS SPEC. SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
- ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET & PAD INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.
 - CALIFORNIA DEPT. OF PUBLIC HEALTH SPEC. 0550
 - NOFIMA 140 AT THE SOLD LEVEL OR HIGHER
 - SCIENTIFIC CERTIFICATION SYSTEM'S SUSTAINABLE CHOICE
 - COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS CALIFORNIA (CA-CGPS) CRITERIA INTERPRETATION FOR BS 10 AND 11 LISTED IN THE CGPS HIGH PERFORMANCE PRODUCT DATABASE.
- ALL NEW CARPET GISHOR INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.
- NEW HARDWOOD FLOORING, PARTICULATE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE FLOOR PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 550.4.4.
- THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM 690.3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS SPEC. SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE FLOOR PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
- 60% OF THE TOTAL AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - CERTIFIED AS A GREEN LOW-EMITTING MATERIAL IN THE CGPS HIGH PERFORMANCE PRODUCTS DATABASE.
 - CERTIFIED UNDER U.S. GREENWASH GOLD.
 - CERTIFIED UNDER THE RESIDENT FLOOR GOVERNING INSTITUTE (RFGI) FLOORSCORE PROGRAM.
 - MEET THE CALIFORNIA DEPT. OF PUBLIC HEALTH SPEC. 0550

KEY NOTES

- (E) CONCRETE MALL
- (E) STUD MALL
- (E) CONCRETE COLUMN (TYP.)
- (E) WINDOW (TYP.)
- (E) CONCRETE FLOOR
- (E) ELECTRICAL PANEL
- (E) DOCK
- (N) METAL STUD MALL W/ 5/8" PAINTED GYP. BOARD EA. SIDE - FULL HEIGHT
- (N) METAL PARTITION MALL W/ 5/8" GYP. BOARD EA. SIDE
- (E) STEPS & LANDINGS
- (E) ACCESSIBLE RAMP

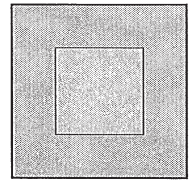
WALL LEGEND

- (E) CONCRETE WALL TO REMAIN
 (E) METAL STUD MALL
 (N) METAL STUD PARTITION W/ 5/8" GYP. BOARD EA. SIDE

NEW SECOND FLOOR PLAN

SCALE 3/32" = 1'-0"

NOTES



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ARCHITECT

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INVESTMENTS
LLC

2301 E. 7TH ST.
Los Angeles, California
90023

CLIENT

PROPOSED

Tenant Improvement

DESCRIPTION

1700
S. SANTA FE
Los Angeles, CA

PROJECT

PROJECT NO.
DATE 7/5/17
DRAWN BY T.O.

REVISIONS

1/31/18 PER OWNER

10/2/17 PER PLAN CHECK

SHEET CONTENT
NEW SECOND
FLOOR PLAN

SHEET NUMBER

A-3

OCCUPANT LOAD			
1ST FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
2ND FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
3RD FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
4TH FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
MEANS OF EGRESS			
B (OFFICE)	100 GROSS	TABLE 1004.1.2	
COMMON PATH OF EGRESS TRAVEL	100' MAX.	TABLE 1014.5	
EXIT ACCESS TRAVEL DISTANCE	300' MAX.	TABLE 1016.2	
NUMBER OF EXITS	2	TABLE 1021.3	

GENERAL NOTES

- ALL PORTIONS ARE TO FACE OF CONCRETE OR STUDS, STRUCTURAL GRID LINES, OR CONTROLS OF CEILING.
- CONTRACTOR SHALL PROVIDE SOLID BACKING FOR ALL HULL-MOUNTED EQUIPMENT.
- CONTRACTOR TO PROTECT FLOOR SLAB DURING CONSTRUCTION AND KEEP CLEAN AT ALL TIMES.
- DEAD END CORRIDORS AND EXIT BALCONIES MUST NOT EXCEED 50 FEET.
- INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE SUBMITTAL APPROVED IN ACCORDANCE WITH SECTION 9000.
- ALL EXIST DOORS SHALL COMPLY WITH SECTION 9001.
- CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN 32" OR PRE-SEC. 1005.1. HINGERS ARE GREATER.
- HALL DOOR HEIGHT OF 8'-0" SHALL BE CAPABLE OF OPENING 40 DEGREES.
- THE MAX. WIDTH OF A SINGING DOOR LEAF SHALL BE 48" NOMINAL.
- EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.
- NEW PLUMBING FITTINGS AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 9000.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONSTRUCTION WASTE WILL BE HANDLED BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- NON-RESIDENTIAL ADDITION AND ALTERATIONS SHALL REQUIRE VERIFICATION OF THE CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILL.

GREEN BUILDING NOTES

- NEW PLUMBING FITTINGS AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 9000.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONSTRUCTION WASTE WILL BE HANDLED BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- NON-RESIDENTIAL ADDITION AND ALTERATIONS SHALL REQUIRE VERIFICATION OF THE CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILL.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 9304.41 - 9304.43.
- THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRI 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS SPEC. SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
- ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET & RUG INSTITUTE GREEN LABEL, PLUS PROGRAM.
 - CALIFORNIA DEPT. OF PUBLIC HEALTH SPEC. 00550.
 - NOFIMA 140 AT THE SOLD LEVEL OR HIGHER.
 - SCIENTIFIC CERTIFICATION SYSTEMS SUSTAINABLE CHOICE.
 - COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS CALIFORNIA (CA-COPS) CRITERIA INTERPRETATION FOR ED 10 AND 11 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE.
- ALL NEW CARPET GROUND INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET & RUG INSTITUTE GREEN LABEL, PLUS PROGRAM.
- NEW HARDWOOD FLOORING, PARTICULATE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 9304.43.
- THE FORMALDEHYDE EMISSION VERIFICATION CHECKLIST, FORM GRI 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS SPEC. SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
- 60% OF THE TOTAL AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - CERTIFIED AS A GREEN LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE.
 - CERTIFIED UNDER UL GREENGUARD GOLD.
 - CERTIFIED UNDER THE RESIDENT FLOOR COVARIANTS INSTITUTE (RFG) FLOORSCORE PROGRAM.
 - MEET THE CALIFORNIA DEPT. OF PUBLIC HEALTH SPEC. 00550.

KEY NOTES

- (E) CONCRETE WALL
- (E) STUD WALL
- (E) CONCRETE COLUMN (TYP.)
- (E) WINDOW (TYP.)
- (E) CONCRETE FLOOR
- (E) ELECTRICAL PANEL
- (E) DOCK
- (N) METAL STUD WALL W/ 5/8" PAINTED GYP. BOARD EA. SIDE - FULL HEIGHT
- (N) METAL PARTITION WALL W/ 5/8" GYP. BOARD EA. SIDE
- (E) STEPS & LANDINGS
- (E) ACCESSIBLE RAMP

WALL LEGEND

- (E) CONCRETE WALL TO REMAIN
 (E) METAL STUD WALL
 (N) METAL STUD PARTITION W/ 5/8" GYP. BOARD EA. SIDE

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ARCHITECT

DAYAN
INVESTMENTS
LLC2301 E. 7TH ST.
Los Angeles, California
90023

CLIENT

PROPOSED

Tenant Improvement

DESCRIPTION

1700
S. SANTA FE
Los Angeles, CA

PROJECT

PROJECT NO.	
DATE	7/6/17
DRAWN BY	T.O.
REVISIONS	
1/3/18	PER OWNER
10/2/17	PER PLAN CHECK

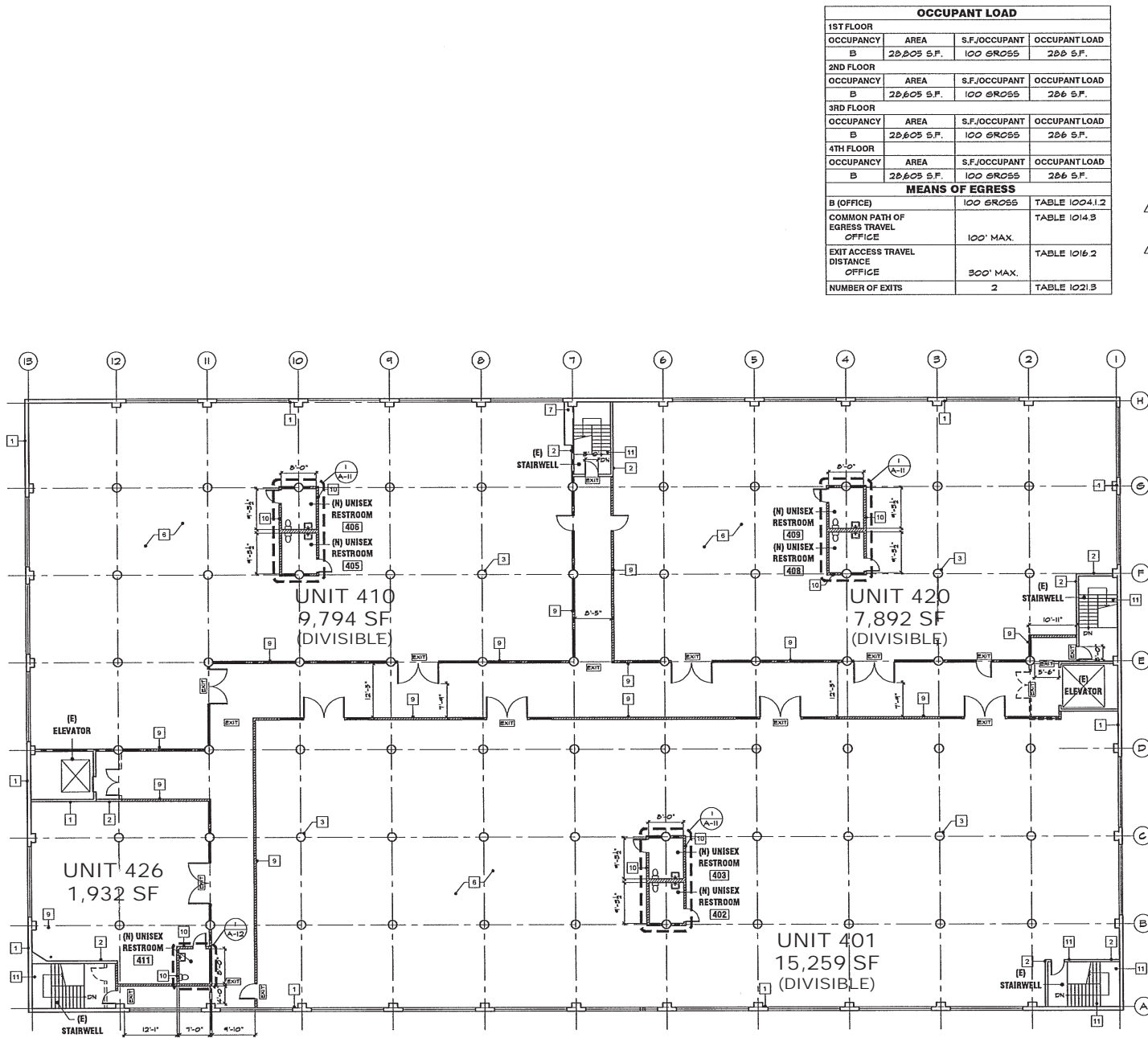
NEW THIRD
FLOOR PLAN

SHEET NUMBER

A-4

NEW THIRD FLOOR PLAN SCALE 3/32" = 1'-0"

NOTES



OCCUPANT LOAD			
1ST FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
2ND FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
3RD FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
4TH FLOOR			
OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANT LOAD
B	28,805 S.F.	100 GROSS	288 S.F.
MEANS OF EGRESS			
B (OFFICE)	100' GROSS	TABLE 1004.1.2	
COMMON PATH OF EGRESS TRAVEL	100' MAX.	TABLE 1014.3	
EXIT ACCESS TRAVEL DISTANCE	300' MAX.	TABLE 1016.2	
NUMBER OF EXITS	2	TABLE 1021.3	

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF CONCRETE OR STUDS, STRUCTURAL GRID LINES, OR CENTERLINE OF COLUMNS.
- CONTRACTOR SHALL PROVIDE SOLID BACKING FOR ALL HALL-WALL MOUNTED EQUIPMENT.
- CONTRACTOR TO PROTECT FLOOR SLAB DURING CONSTRUCTION AND KEEP CLEAN AT ALL TIMES.
- DEAD END CORRIDORS AND EXIT BALCONIES MUST NOT EXCEED 50 FEET.
- INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 0500.
- ALL EXIT DOORS SHALL COMPLY WITH SECTION 1000.
- CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN 32" OR FREE SWG. 100% L. INSIDE DOOR IS GREATER.
- MIN. DOOR HEIGHT OF 8'-0".
- DOORS SHALL BE CAPABLE OF OPENING 90 DEGREES.
- THE MAX. WIDTH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL. EXIT DOOR SHALL BE 60" MIN. SWINGING TYPE.
- NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 0500.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONSTRUCTION WASTE WILL BE HANDLED BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- NON-RESIDENTIAL ADDITION AND ALTERATIONS SHALL REQUIRE VERIFICATION OF THE CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.

GREEN BUILDING NOTES

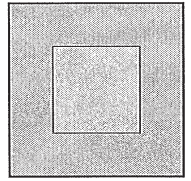
- NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 0500.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONSTRUCTION WASTE WILL BE HANDLED BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- NON-RESIDENTIAL ADDITION AND ALTERATIONS SHALL REQUIRE VERIFICATION OF THE CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 3300A.1 - 3300A.5.
- THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRI 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPEC. SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
- ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET & RUG INSTITUTE GREEN LABEL PLUS PROGRAM.
 - CALIFORNIA DEPT. OF PUBLIC HEALTH SPEC. 0050.
 - NOFIMA 140 AT THE GOLD LEVEL OR HIGHER.
 - SCIENTIFIC CERTIFICATION SYSTEM'S SUSTAINABLE CHOICE.
 - COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS CALIFORNIA (CA-CAPS) CRITERIA INTERPRETATION FOR BS 10 AND T1 AND LISTED IN THE COPS HIGH PERFORMANCE PRODUCT DATABASE.
- ALL NEW CARPET GIGAMON INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET & RUG INSTITUTE GREEN LABEL PROGRAM.
- NEW HARDWOOD FLOORING, PARTICULATE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE FLOOR PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 3300A.5.
- THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRI 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPEC. SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE FLOOR PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
- 20% OF THE TOTAL AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - CERTIFIED AS A GREEN LOW-EMITTING MATERIAL IN THE COPS HIGH PERFORMANCE PRODUCT DATABASE.
 - CERTIFIED UNDER U.S. GREENWASH GOLD.
 - CERTIFIED UNDER THE RESIDENT FLOOR COVERING INSTITUTE (RFICI) FLOORSCORE PROGRAM.
 - MEET THE CALIFORNIA DEPT. OF PUBLIC HEALTH SPEC. 0050.

KEY NOTES

- (E) CONCRETE MALL
- (E) STUD WALL
- (E) CONCRETE COLUMN (TYP.)
- (E) WINDOW (TYP.)
- (E) CONCRETE FLOOR
- (E) ELECTRICAL PANEL
- (E) DOCK
- (N) METAL STUD WALL W/ 5/8" PAINTED GYP. BOARD EA. SIDE - FULL HEIGHT
- (N) METAL PARTITION WALL W/ 5/8" GYP. BOARD EA. SIDE
- (E) STEPS & LANDINGS
- (E) ACCESSIBLE RAMP

WALL LEGEND

- (E) CONCRETE MALL TO REMAIN
- (E) METAL STUD WALL
- (N) METAL STUD PARTITION W/ 5/8" GYP. BOARD EA. SIDE

SEGAL/REA
ARCHITECTUREP.O. Box 6108
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FAX (626) 345-9343

ARCHITECT

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INVESTMENTS
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Los Angeles, California
90023

CLIENT

PROPOSED

Tenant Improvement

DESCRIPTION

1700
S. SANTA FE
Los Angeles, CA

PROJECT

PROJECT NO.	
DATE	7/6/17
DRAWN BY	T.O.
REVISIONS	
1/31/18	PER OWNER
10/17/17	PER PLAN CHECK

SHEET CONTENT

NEW FOURTH
FLOOR PLAN

SHEET NUMBER

A-5

NOTES

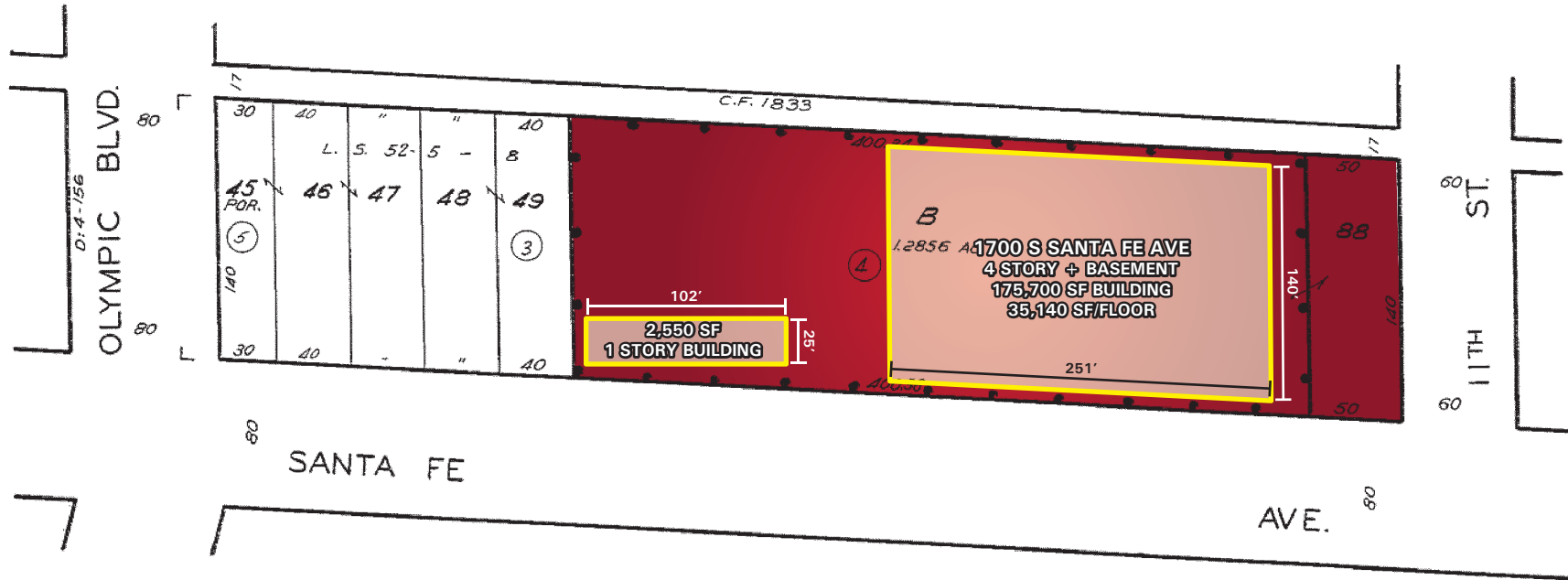
5168

1

SCALE 1" = 60'

2011

REVISED
1-30-60
3-4-60
03/02/4
2010/01/20
2010/07/08

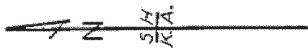


M. L. WICKS SUB.
OF LOTS 304 & 305 SOUTH & PORTER
TR., EAST PORTION OF GERMAIN &
ARCHIBALD TRACTS, & PART OF
KERCHEVAL TR:

M. R. 17-30

TRACT NO. 8769

M. B. 122-36-37



CODE
15118

FOR PREV. ASSMT SEE 1332-1

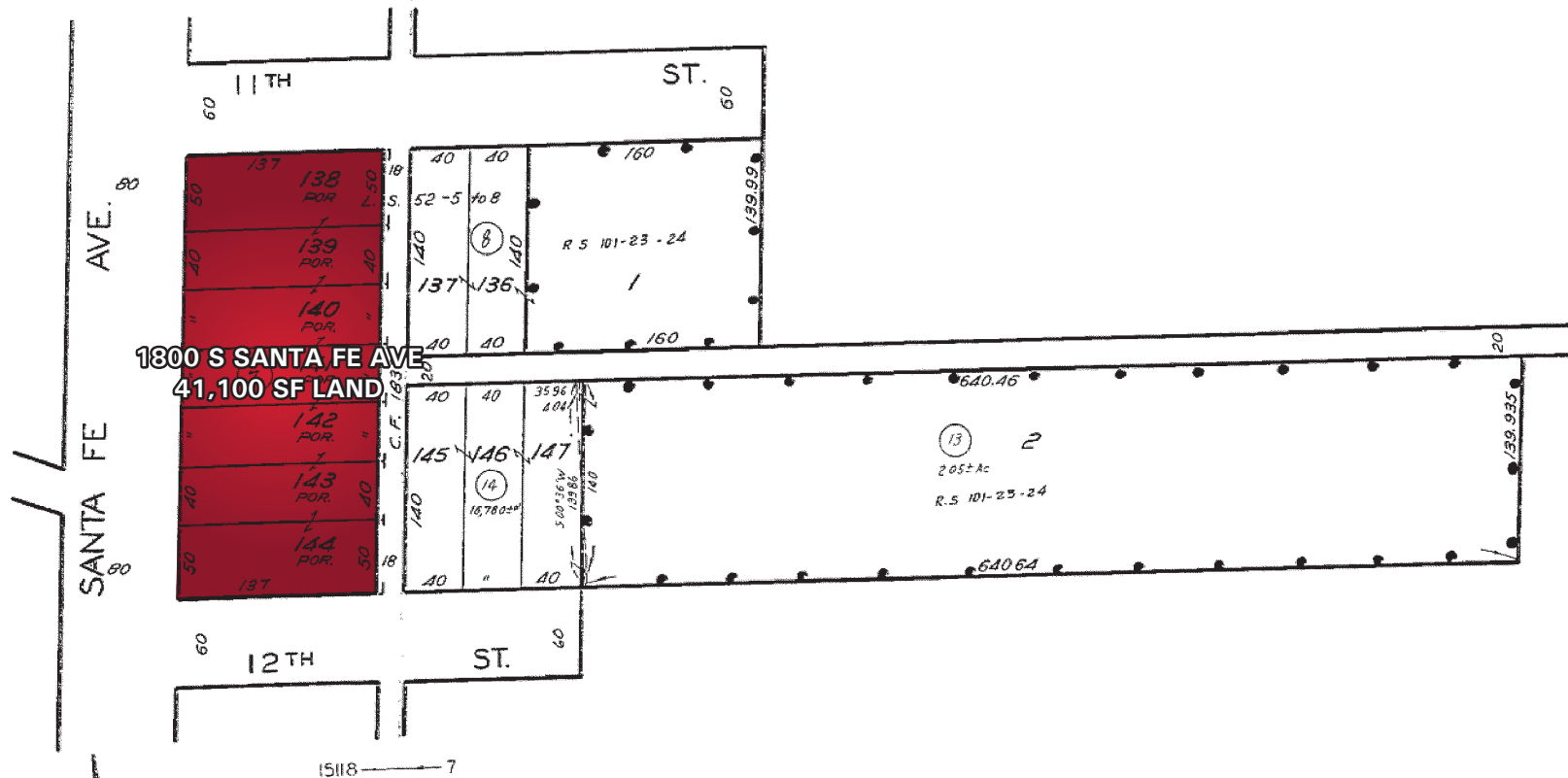
JUL 30 2011

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

5168 | 3
SCALE 1" = 80'

2011

661215 REVISED
6-29-59
1-30-60
3-4-60
84022880-0
840430602-
8911409001001-27
95071303002001-27
9508220202001-27
030124
2000120
20100708



1800 S SANTA FE AVE
41,100 SF LAND

TRACT NO. 8016
M.B. 179-7

M.L. WICKS SUB.
OF LOTS 304 & 305 SOUTH & PORTER
TR., EAST PORTION OF GERMAIN &
ARCHIBALD TRACTS, & PART OF
KERCHEVAL TR.

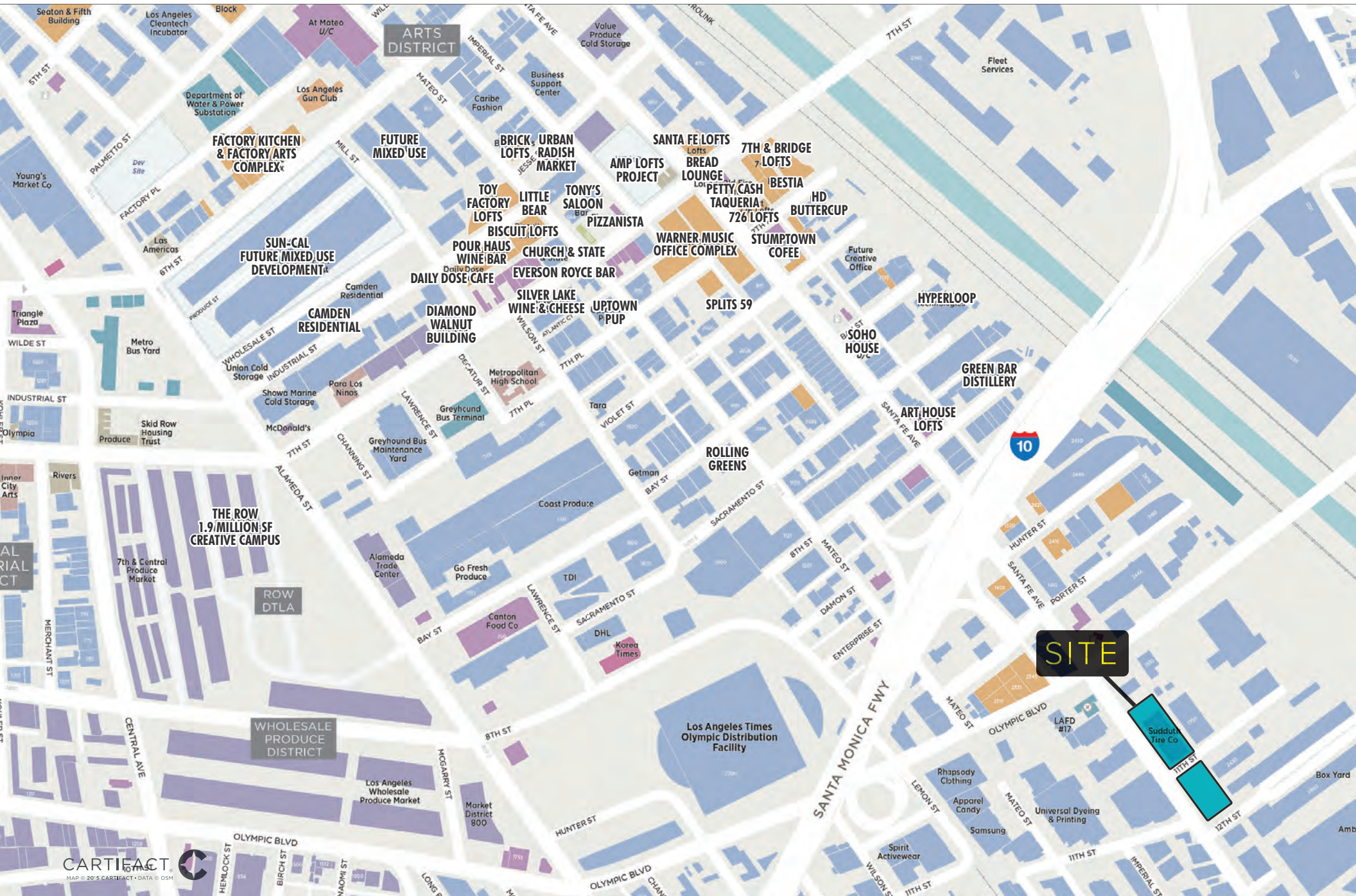
M.R. 17-30

CODE
7
15118

FOR PREV. ASSMT. SEE 1332-3

JUL 30 2010

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.



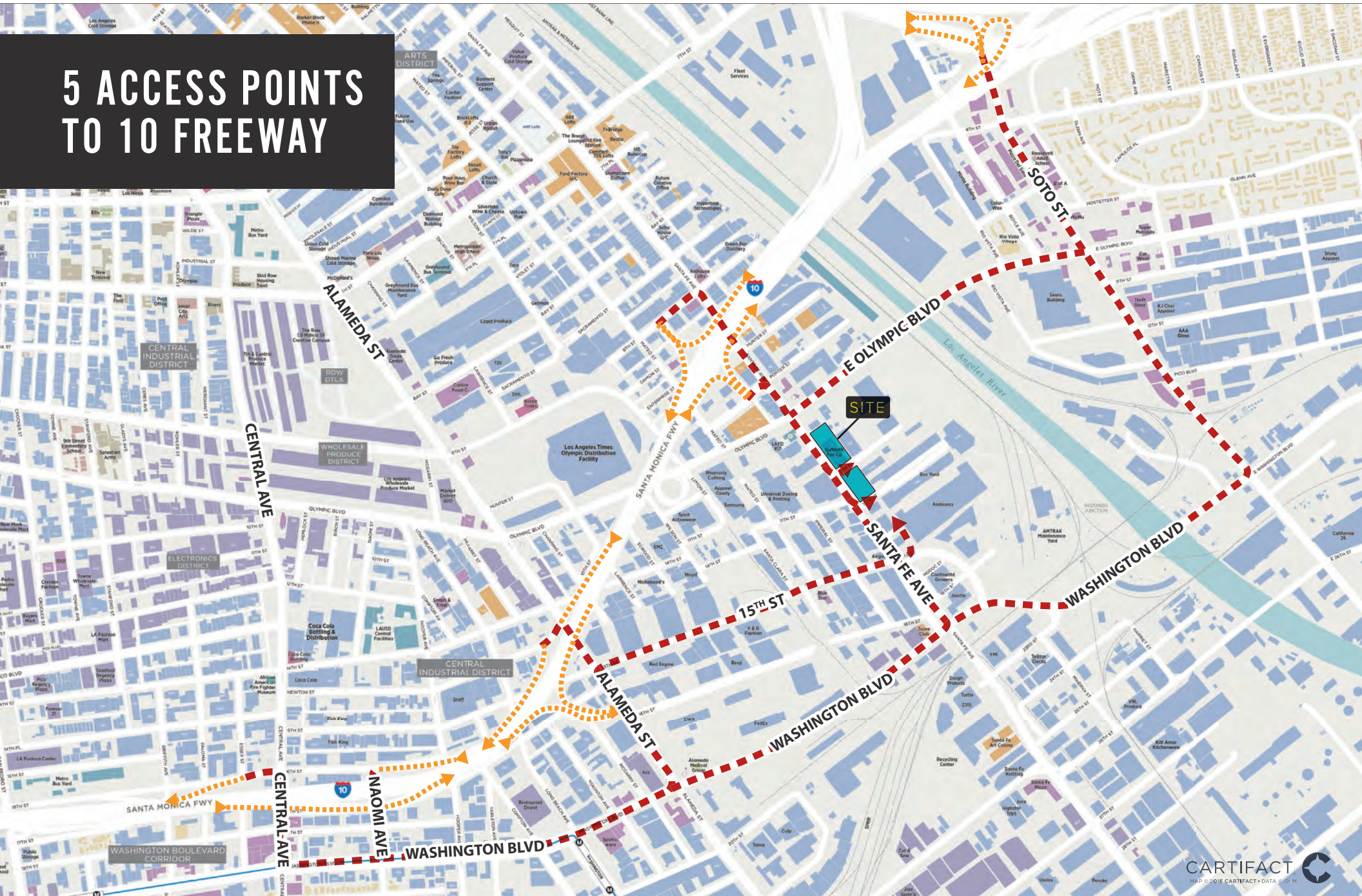
1700 S SANTA FE AVE • LOS ANGELES

FOR LEASE

178,250 SF CREATIVE CAMPUS ON 104,000 SF OF LAND

MULTIPLE LOCATIONS TO ACCESS THE PROPERTY

**5 ACCESS POINTS
TO 10 FREEWAY**

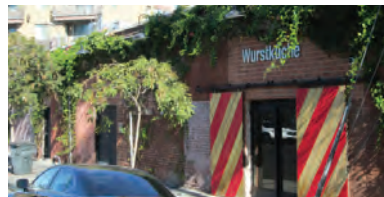


1700 S SANTA FE AVE • LOS ANGELES

FOR LEASE

178,250 SF CREATIVE CAMPUS ON 104,000 SF OF LAND

ARTS DISTRICT



WURSTKÜCHE
800 E 3rd Street



URTH CAFFÈ
451 S Hewitt Street



THE ESCONDITE
410 Boyd Street



VILLAINS TAVERN
1356 Palmetto Street



BLUE BOTTLE COFFEE
582 Mateo Street



ANGEL CITY BREWERY
216 S Alameda Street



CHURCH & STATE
1850 Industrial State



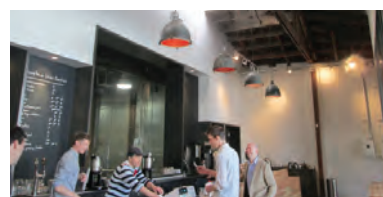
URBAN RADISH
661 Imperial Street



DAILY DOSE
1820 Industrial Street



BREAD LOUNGE
700 S Santa Fe Avenue



STUMPTOWN COFFEE
806 S Santa Fe Avenue



AMERICANO
923 E 3rd Street



BESTIA
2121 E 7th Place



THE FACTORY KITCHEN
1300 Factory Place



LITTLE BEAR
1855 Industrial Street



City of Los Angeles Department of City Planning

10/9/2018 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

1700 S SANTA FE AVE
1722 S SANTA FE AVE

ZIP CODES

90021

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2017-432-CPU-CA
CPC-2014-5000-CA-GPA
CPC-2014-2415-GPA-CA
CPC-2008-3125
CPC-2007-3036-RIO
CPC-2001-4642-CRA
CPC-1997-423
CPC-1995-352-CPU
CPC-1986-607-GPC
ORD-183145
ORD-183144
ORD-164855-SA2980
ZA-1995-799-ZV
ENV-2017-433-EIR
ENV-2014-4000-MND
ENV-2014-2416-MND
ENV-2013-3392-CE
ENV-2007-3037-ND
ENV-1995-328-MND

Address/Legal Information

PIN Number	120A217 21
Lot/Parcel Area (Calculated)	55,986.1 (sq ft)
Thomas Brothers Grid	PAGE 634 - GRID H7
Assessor Parcel No. (APN)	5168001004
Tract	TR 8769
Map Reference	M B 122-36/37
Block	None
Lot	LT B
Arb (Lot Cut Reference)	None
Map Sheet	120A217
	121-5A217

Jurisdictional Information

Community Plan Area	Central City North
Area Planning Commission	Central
Neighborhood Council	Downtown Los Angeles
Council District	CD 14 - José Huizar
Census Tract #	2060.31
LADBS District Office	Los Angeles Metro

Planning and Zoning Information

Special Notes	None
Zoning	M3-1-RIO
Zoning Information (ZI)	ZI-2452 Transit Priority Area in the City of Los Angeles
	ZI-2358 River Improvement Overlay District
	ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses
	ZI-2317 Central Industrial Redevelopment Project
	ZI-2129 EAST LOS ANGELES STATE ENTERPRISE ZONE
General Plan Land Use	Heavy Manufacturing
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None
SN: Sign District	No

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(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium-High
Non-Residential Market Area	Medium
Transit Oriented Communities (TOC)	Tier 3
CRA - Community Redevelopment Agency	Central Industrial Redevelopment Project
Central City Parking	Yes
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	5168001004
APN Area (Co. Public Works)*	1.446 (ac)
Use Code	3330 - Industrial - Warehousing, Distribution, Storage - Warehousing, Distribution, Over 50,000 SF - One Story
Assessed Land Val.	\$5,202,000
Assessed Improvement Val.	\$23,721,120
Last Owner Change	12/16/2016
Last Sale Amount	\$9
Tax Rate Area	15118
Deed Ref No. (City Clerk)	761222-4
	498697
	396240
	350747-49
	2873555
	1507480,3
	1061643
Building 1	
Year Built	1923
Building Class	AXA
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	177,570.0 (sq ft)
Building 2	
Year Built	1959
Building Class	SX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	2,525.0 (sq ft)
Building 3	
Year Built	1940
Building Class	DX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	19,600.0 (sq ft)
Building 4	No data for building 4
Building 5	No data for building 5
Additional Information	
Airport Hazard	None
Coastal Zone	None

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Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Buffer Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	0.46097952
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Promise Zone	None
Renewal Community	No
Revitalization Zone	Central City
State Enterprise Zone	EAST LOS ANGELES STATE ENTERPRISE ZONE
Targeted Neighborhood Initiative	None

Housing

Direct all Inquiries to	Housing+Community Investment Department
Telephone	(866) 557-7368
Website	http://hcidla.lacity.org
Rent Stabilization Ordinance (RSO)	No
Ellis Act Property	No

Public Safety

Police Information	
Bureau	Central
Division / Station	Newton
Reporting District	1309
Fire Information	
Bureau	Central
Batallion	1
District / Fire Station	17
Red Flag Restricted Parking	No

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CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2017-432-CPU-CA
Required Action(s):	CA-CODE AMENDMENT CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	CPC-2014-5000-CA-GPA
Required Action(s):	CA-CODE AMENDMENT GPA-GENERAL PLAN AMENDMENT
Project Descriptions(s):	CODE AMENDMENT TO ESTABLISH ARTS DISTRICT LIVE/WORK ZONE AND GENERAL PLAN AMENDMENT TO THE CENTRAL CITY NORTH COMMUNITY PLAN MAP TO ADD SPECIAL STUDY BOUNDARY, UPDATE CORRESPONDING ZONES, AND ADD NEW FOOTNOTES.
Case Number:	CPC-2014-2415-GPA-CA
Required Action(s):	CA-CODE AMENDMENT GPA-GENERAL PLAN AMENDMENT
Project Descriptions(s):	PROPOSED ORDINANCE TO CREATE NEW LIVE/WORK ZONE AND PROPOSED GENERAL PLAN AMENDMENT TO THE CENTRAL CITY NORTH COMMUNITY PLAN TO ADD POLICY DIRECTION FOR NEW LIVE/WORK PROJECTS IN THE ARTS DISTRICT.
Case Number:	CPC-2008-3125
Required Action(s):	Data Not Available
Project Descriptions(s):	THE ADDITION OF A RIVER IMPROVEMENT OVERLAY (RIO) DISTRICT AS SECTION 13.12 OF THE L.A.M.C. IN RESPONSE TO THE LOS ANGELES RIVER REVITALIZATION MASTER PLAN (LARRMP) THAT WAS ADOPTED IN MAY 2007. THIS SUPPLEMENTAL USE DISTRICT WOULD ESTABLISH STANDARDS FOR NEW DEVELOPMENT ALONG WATERWAYS
Case Number:	CPC-2007-3036-RIO
Required Action(s):	RIO-RIVER IMPROVEMENT OVERLAY DISTRICT
Project Descriptions(s):	THE ESTABLISHMENT OF AN ORDINANCE THAT FACILITATES DEVELOPMENT WITHIN THE LA-RIO BOUNDARIES TO ENHANCE THE WATERSHED, URBAN DESIGN AND MOBILITY OF THE AREA. THESE BOUNDARIES ARE ADJACENT TO, NOT INSIDE, THE LOS ANGELES RIVER ON LAND ALREADY ZONED FOR DEVELOPMENT.
Case Number:	CPC-2001-4642-CRA
Required Action(s):	CRA-COMMUNITY REDEVELOPMENT AGENCY
Project Descriptions(s):	
Case Number:	CPC-1997-423
Required Action(s):	Data Not Available
Project Descriptions(s):	PRELIMINARY PLAN FOR THE PROPOSED DOWNTOWN RIVERFRONT INDUSTRIAL PROJECT IN COOPERATION WITH THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES.
Case Number:	CPC-1995-352-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	CENTRAL CITY NORTH COMMUNITY PLAN UPDATE PROGRAM (CPU) - THE CENTRAL CITY NORTH COMMUNITY PLAN IS ONE OF TEN COMMUNITY PLANS THAT ARE PART OF THE COMMUNITY PLAN UPDATE PROGRAM PHASE II (7-1-95 TO 12-31-96)
Case Number:	CPC-1986-607-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	AB-283 PROGRAM - GENERAL PLAN/ZONE CONSISTENCY - CENTRAL CITY NORTH NORTH AREA - COMMUNITY WIDE ZONE CHANGES AND COMMUNITY PLAN CHANGES TO BRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDES CHANGES OF HEIGHT AS NEEDED. REQUIRED BY COURT AS PART OF SETTLEMENT IN THE HILLSIDE FEDERATION LAWSUIT (G/GREEN/BOWMAN)
Case Number:	ZA-1995-799-ZV
Required Action(s):	ZV-ZONE VARIANCE
Project Descriptions(s):	VARIANCE FROM SEC. 12.21 A4 TO REDUCE REQUIRED PARKING FROM 264 SPACES TO 132 SPACES TO ALLOW CHANGE OF USE FROM WAREHOUSE/OFFICE TO MANUFACTURING IN THE M3-1 ZONE.
Case Number:	ENV-2017-433-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	ENV-2014-4000-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	CODE AMENDMENT TO ESTABLISH ARTS DISTRICT LIVE/WORK ZONE AND GENERAL PLAN AMENDMENT TO THE CENTRAL CITY NORTH COMMUNITY PLAN MAP TO ADD SPECIAL STUDY BOUNDARY, UPDATE CORRESPONDING ZONES, AND ADD NEW FOOTNOTES.
Case Number:	ENV-2014-2416-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION

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Project Descriptions(s):	PROPOSED ORDINANCE TO CREATE NEW LIVE/WORK ZONE AND PROPOSED GENERAL PLAN AMENDMENT TO THE CENTRAL CITY NORTH COMMUNITY PLAN TO ADD POLICY DIRECTION FOR NEW LIVE/WORK PROJECTS IN THE ARTS DISTRICT.
Case Number:	ENV-2013-3392-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	THE PROPOSED ORDINANCE MODIFIES SECTION 22.119 OF THE LOS ANGELES ADMINISTRATIVE CODE TO ALLOW ORIGINAL ART MURALS ON LOTS DEVELOPED WITH ONLY ONE SINGLE-FAMILY RESIDENTIAL STRUCTURE AND THAT ARE LOCATED WITHIN COUNCIL DISTRICTS 1, 9, AND 14.
Case Number:	ENV-2007-3037-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	THE ESTABLISHMENT OF AN ORDINANCE THAT FACILITATES DEVELOPMENT WITHIN THE LA-RIO BOUNDARIES TO ENHANCE THE WATERSHED, URBAN DESIGN AND MOBILITY OF THE AREA. THESE BOUNDARIES ARE ADJACENT TO, NOT INSIDE, THE LOS ANGELES RIVER ON LAND ALREADY ZONED FOR DEVELOPMENT.
Case Number:	ENV-1995-328-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	CENTRAL CITY NORTH COMMUNITY PLAN UPDATE PROGRAM (CPU) - THE CENTRAL CITY NORTH COMMUNITY PLAN IS ONE OF TEN COMMUNITY PLANS THAT ARE PART OF THE COMMUNITY PLAN UPDATE PROGRAM PHASE II (7-1-95 TO 12-31-96)

DATA NOT AVAILABLE

ORD-183145
ORD-183144
ORD-164855-SA2980

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ZIMAS PUBLIC

Generalized Zoning

10/09/2018

City of Los Angeles
Department of City Planning



Address: 1700 S SANTA FE AVE
APN: 5168001004
PIN #: 120A217 21

Tract: TR 8769
Block: None
Lot: LT B
Arb: None

Zoning: M3-1-RIO
General Plan: Heavy Manufacturing



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FOR LEASE 1700 SANTAFE AVENUE

LOS ANGELES • CALIFORNIA • 90021

FOR MORE INFORMATION, PLEASE CONTACT US

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