

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK



LIST OF PROPERTY OWNERS WITHIN 1000' OF SITE

[illegible]

RECORD OWNER:

SOSKEN, INC.
962 ROUTE 9W, CONGERS, NY, 10920
P: 845-268-2587

ARCHITECT

JAN DEGENSHEIN,
ARCHITECT-PLANNER, P.C.
205 SOUTH BROADWAY, NYACK, NY
P: 845-358-8400

SURVEYOR

JAY A. GREENWELL, PLS. LLC
SURVEYING - LAND PLANNING
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
P: 845-357-0830 F: 845-357-0756

5	AS PER 6/26/2015 PRE-APPLICATION MINUTES	JO	9/04/15
4	AS PER 7/15/2015 TAC COMMENTS	SS	7/29/15
3	AS PER 7/01/2015 PB MEETING	JO	7/07/15
2	AS PER 4/15/2015 TAC MEETING	JO	5/20/15
1	FOR PRELIMINARY PB APPROVAL	JO	2/16/15
REV	DESCRIPTION	BY	DATE

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION
OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2

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76 Lafayette Avenue Suffern, NY 10901 (845) 357-4411	46 N. Central Avenue Ramsey, NJ 07446 (201) 684-1221
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PROJECT: _____

KENNELLY SQUARE
TOWN OF CLARKSTOWN

ROCKLAND COUNTY
NEW YORK

FILE: _____

NEW
SHEET

	PROJECT NO: 14198	DRAWING 10	SHEET NO. 10
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SCALE: 1:50,000

GRAPHIC SCALE:

2025 RELEASE UNDER E.O. 14176

BRIAN A. BROOKER,
CATERPILLAR ENGINEER

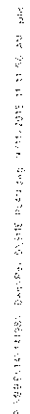
N.Y.S. Lic. No. 60229

DRAWING LIST:

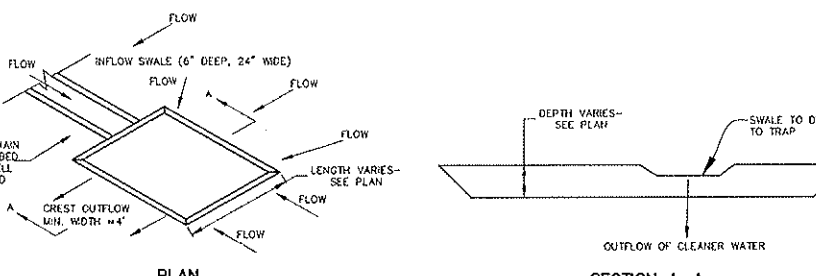
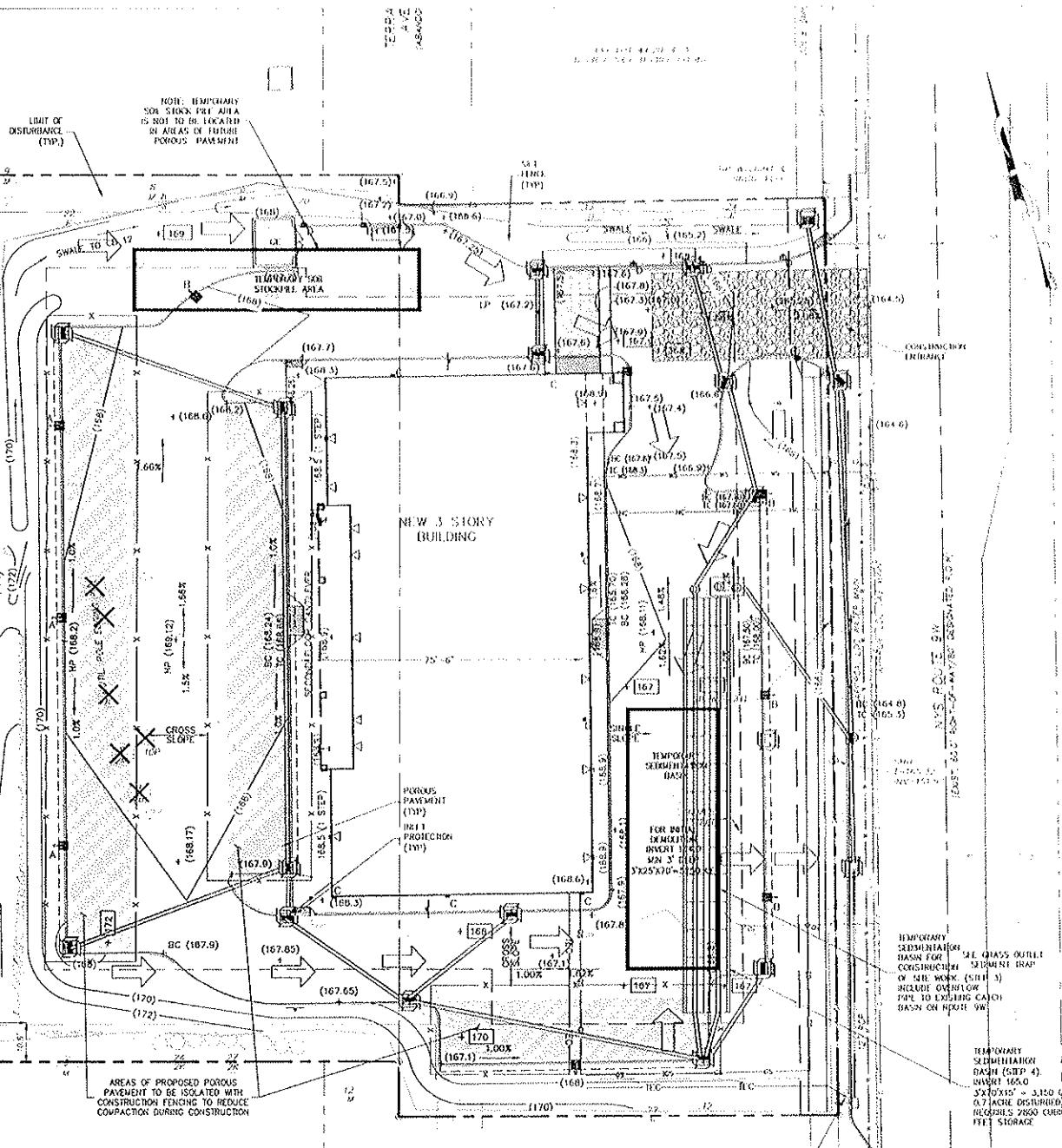
RIGHT: LARRY OSMUNDSON

1. TITLE SHEET
2. PRELIMINARY SITE PLAN
3. PRELIMINARY GRADING AND UTILITY PLAN
4. EROSION AND SEDIMENT CONTROL PLAN
5. EXISTING CONDITIONS & DEMOLITION PLAN
6. TREE PRESERVATION PLAN
7. LANDSCAPING PLAN
8. CONSTRUCTION DETAILS
9. CROSS-SECTION & DETAILS
10. LIGHTING PLAN

DATE	DATE
11/03/2014	9/04/2015
11/03/2014	9/04/2015
11/03/2014	9/04/2015
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11/03/2014	9/04/2015
11/03/2014	9/04/2015
11/03/2014	9/04/2015
12/16/2014	6/24/2015



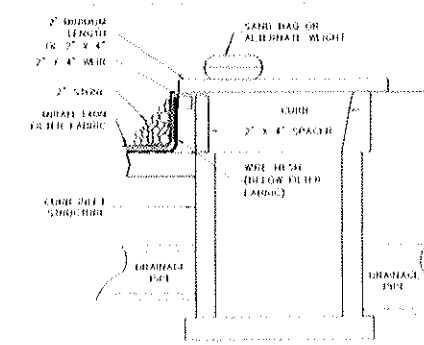
TAX LOT 46.20-4-52
N. OR T. COTLER



GRASS OUTLET SEDIMENT TRAP DETAIL
N.T.S.

NOTES:

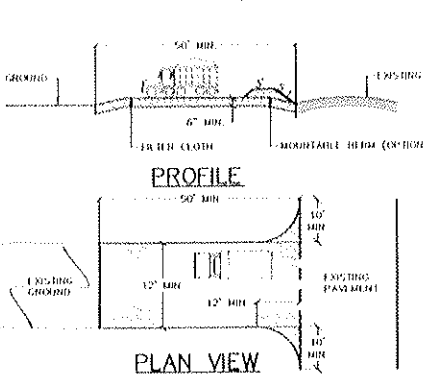
1. TO BE UTILIZED FOR ALL TEMPORARY SEDIMENT TRAPS SPECIFIED ON THE EROSION CONTROL PLAN.
2. VOLUME OF SEDIMENT STORAGE SHALL BE 3600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE AREA. (APPROXIMATELY 1 ACRE CONTRIBUTES, 5250 CUBIC FEET IS PROVIDED). SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.
7. REFER TO EROSION CONTROL PLAN FOR TEMP. SEDIMENT TRAP DIMENSIONS.



CURB INLET PROTECTION DETAIL
N.T.S.

NOTES:

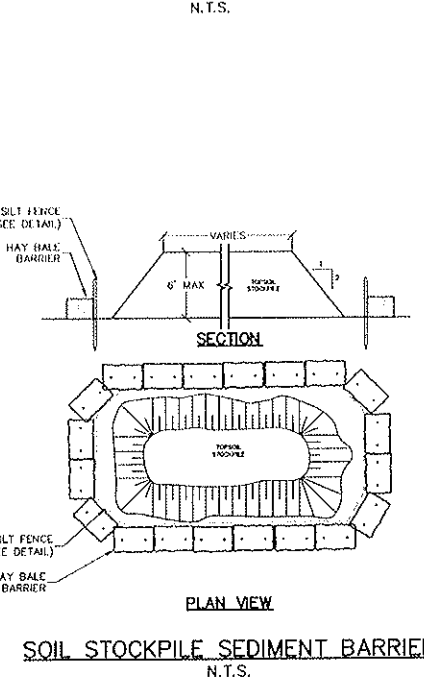
1. FILTER FABRIC SHALL HAVE AN LTV OF 40-85.
2. WORKED FABRIC SHALL BE CONSTRUCTED OF 2" X 4" CORRUGATED GALVANIZED STEEL.
3. WHEN USED ALONG DRAINAGE, SHALL BE A CONTINUOUS FENCE TO PREVENT MINOR WASH WITH A LENGTH 4 FEET LONGER THAN THE THROAT IT SHALL BE SHAPED AND SECURELY FASTENED TO A 2" X 4" WIRE.
4. THE WIRE SHALL BE SECURELY FASTENED TO 2" X 4" STAKES 3 FEET LONG SPACED NO MORE THAN 6 FEET APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE CURB AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE CURB AND FASTENED BY 2" X 4" BAGS OR ALTERNATE WEIGHTS.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.

NOTES:

1. "SOFT" MAT - 1/2" X 1/2" X 1/2" STONE, OR RECLAIMED OR RECYCLED CORRUPT EQUIVALENT.
2. LENGTH - NOT LESS THAN 20' (EXCEPT ON A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 5/8" (4) INCHES.
4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE ONLY.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PUMPED BEHIND THE ENTRANCE. IF PUMPING IS IMPRACTICAL, A PORTABLE PUMP WITH 2-1/2" HOLES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT BACKING OR FLOWING OF SEDIMENT, DRIPPED, WASHED OR DRACED ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT, DRIPPED, WASHED OR DRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHEN DRAINAGE INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND REPAIRS SHALL BE PROVIDED AFTER EACH RAIN.



SOIL STOCKPILE SEDIMENT BARRIER
N.T.S.

STANDARD EROSION CONTROL NOTES:

1. ALL SOIL EXPOSED TO EROSION SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARD SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. THE SITE SHALL BE GRADED AND MAINTAINED SUCH THAT ALL SEDIMENTATION BASINS ARE PROVIDED TO 50% EROSION AND SEDIMENT CONTROL FACILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON A REGULAR BASIS, INCLUDING AFTER EVERY SIGNIFICANT EVENT.
4. STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, DITCH, OR A STREET, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
5. A CRUSHED STONE, VERMITE-CLEANING BARRIER SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH THE NEW YORK STANDARD SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
6. ALL SOIL WASHED, DRIPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHTS-OF-WAY, SHALL BE REMOVED IMMEDIATELY PAVED ROADWAYS MUST BE KEPT CLEAR AT ALL TIMES.
7. DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARD SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
8. BILLS TO REMAIN AT THE CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DIRT LINE OR BOUND IN ACCORDANCE WITH THE NEW YORK STANDARD SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
9. TEMPORARY SEDIMENTATION ENTRANCE AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO PREVENT AND CLARIFY SILENT LADDER FROM THE SITE. THIS MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EXISTING BARRIERS, HAY BALE OR CRUSHED STONE DAMS, HAY BALE, OR OTHER CHARACTERISTICS. SHALL BE CONSTRUCTED TO BEHIND THAT A 2" X 4" WIRE BARRIER IS DIRECTED INTO THE ENTRANCE AREAS, WHICH SHALL NOT BE PERMITTED TO BE IN, BUT SHALL BE CLEAR AND PHYSICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SET SHALL BE DIVERTED IN AREAS SAFE FROM FURTHER EROSION.
10. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNDEVELOPED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY STERD WITH 1/2 LB OF ERY GRASS OR MULCH WITH 100 LBS. OF SHAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY STORM AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
11. SILENT LADDER SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE AGENCIES.
12. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SEDIMENTATION BARRIERS SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR REPAIRED IN ACCORDANCE WITH THE APPROPRIATE PLANS.
13. AREAS DISTURBED BY ON-SITE GRADING, THAT WILL NOT BE CONSTRUCTED, SHALL BE STABILIZED WITH PERMANENT VEGETATION COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:

	1 LB. PER ACRE	1 LB. PER 1,000 SF
PERENNIAL BLUE GRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYE GRASS	20	0.45

14. ALL SEED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:

	1 LB. PER ACRE	1 LB. PER 1,000 SF
FERTILIZER - 15 LBS PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT		

15. ALL SLOPES 1:1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH GEOTEXTILE FABRIC AND MULCH TO THE GRADED.

16. SOIL CAN BE USED INSTEAD OF SEED.

CONSTRUCTION SEQUENCE:

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
3. CONSTRUCT DIVERSION SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
4. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR REPAIRED. STUMP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
5. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
6. INSTALL SEDIMENTATION BARRIERS AROUND ALL STORM DRAIN INLETS.
7. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDEVELOPED FOR A PERIOD OF 30 DAYS AS PER NOTE 2 ABOVE.
8. AFTER COMPLETION OF THE SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTE 3 AND 6 ABOVE.
9. REMOVE SEDIMENT BARRIERS AS PER NOTE 4 ABOVE.
10. MAINTAIN ALL SLOPED AND PLANNED AREAS TO INSURE A VISIBLE STABILIZED VEGETATIVE COVER.
11. ALL CONSTRUCTION TO MEET CURRENT VILLAGE SPECS.
12. 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

RECORD OWNER:
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P: 845-357-0830 F: 845-357-0756

REV	DESCRIPTION	BY	DATE
5	AS PER 8/26/2015 PRE-APPLICATION MINUTES	JO	8/26/15
4	AS PER 7/15/2015 TAC COMMENTS	SS	7/25/15
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1	FOR PRELIMINARY PD APPROVAL	JO	2/16/15

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76 Lafayette Avenue
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46 N. Central Avenue
Ramsey, NJ 07446
(201) 684-1221

PROJECT:
KENNELLY SQUARE
TOWN OF CLARKSTOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
EROSION AND SEDIMENT
CONTROL PLAN

PROJECT NO.	DRAWN	CHECKED
14198	JO	KD

SCALE:
GRAPHIC SCALE: 0' 20' 40'

DATE: 11/03/2014 **DRAWING NO:** 4

BRIAN A. BROOKER,
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 60229

DATE: 11/03/2014
DRAWN: 14198
CHECKED: KD
SCALE: 1"=20'
GRAPHIC SCALE:
DATE: 11/03/2014
DRAWING NO: 5

RECORD OWNER:
SOSKIN, INC.
962 ROUTE 9W, CONGERS, NY, 10920
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ARCHITECT:
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ARCHITECT-PLANNER, P.C.
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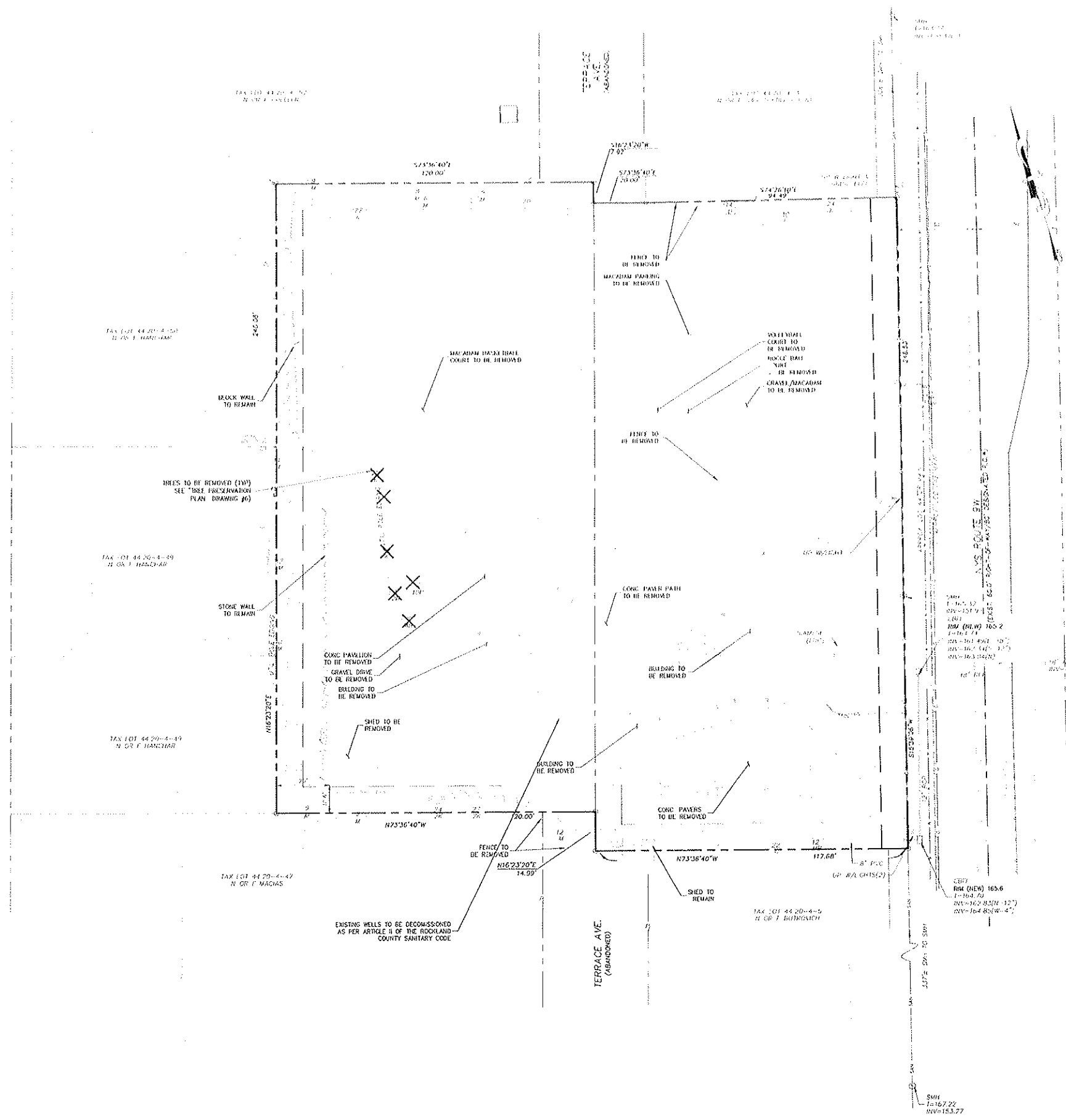
PROJECT:
KENNELLY SQUARE
TOWN OF CLARKSTOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
EXISTING CONDITIONS &
DEMOLITION PLAN

PROJECT NO: 14198
DRAWN: JO
CHECKED: KD
SCALE: 1"=20'
GRAPHIC SCALE:
DATE: 11/03/2014
DRAWING NO: 5

BRIAN A. BROOKER,
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 60229

NOTE:
FIELD LOCATE ALL EXISTING SANITARY SEWER
HOUSE CONNECTIONS DURING DEMOLITION
AND PLUG BETWEEN THE EDGE OF
RIGHT-OF-WAY AND DESIGNATED STREET LINE
WITH A PERMANENT WATERTIGHT PLUG OR CAP
ENCASED IN CONCRETE.



MASSACHUSETTS AVE
(30' ROW)

TAX LOT 44-20-4-50
N OR F HANCHAR

TAX LOT 44-20-4-49
N OR F HANCHAR

TAX LOT 44-20-4-48
N OR F HANCHAR

TAX LOT 44-20-4-47
N OR F MAGAS

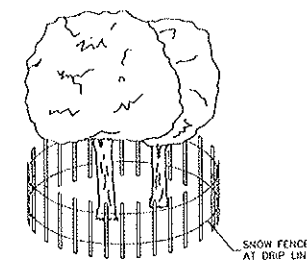
TREE PRESERVATION PLAN LEGEND

- 151 - DENOTES EXISTING TREE TO REMAIN
151 X - DENOTES EXISTING TREE TO BE REMOVED
- - - - - CLEARING LIMIT LINE

TREE LIST					
TREE NUMBER	DIA	TYPE	CONDITION	QTY	TREE TO BE PLANTED
1	9	MAPLE	IR	0	0
2	22	OAK	IR	0	0
3	8	MAPLE	IR	0	0
4	8	MAPLE	IR	0	0
5	8	MAPLE	IR	0	0
6	20	OAK	IR	0	0
7	14	DOGWOOD	IR	0	0
8	30	HUM	IR	0	0
9	24	OAK	IR	0	0
10	14	MAPLE	IR	0	0
11	14	OAK	IR	0	0
12	12	MAPLE	IR	0	0
13	25	OAK	IBR	1	15
14	12	MAPLE	IR	0	0
15	43	OAK	IBR	1	4
16	8	MAPLE	IBR	1	1
17	8	MULBERRY	IBR	1	3
18	10	MAPLE	IR	0	0
19	9	MAPLE	IR	0	0
20	24	OAK	IR	0	0
21	27	OAK	IR	0	0
22	22	CHERRY	IR	0	0
23	17	MULBERRY	IR	0	0
24	8	PIH	IBR	1	3
25	10	PIH	IBR	1	3
Trees to remain					19

TREE LIST LEGEND

- IR - EXISTING TREE TO REMAIN (NO PROTECTION REQUIRED)
IBR - EXISTING TREE TO BE REMOVED
IB - TREE TO REMAIN A PROTECT PROTECTION DURING CONSTRUCTION



NOTE:
PROVIDE PROTECTION FOR TREES TO REMAIN WITHIN THE LIMIT OF DISTURBANCE
TREE PROTECTION DETAIL
N.T.S.

REQUIRED TREE COUNT CALCULATION
TOTAL SITE AREA: 1.32 ACRES
EXISTING TREES (6" AND LARGER) ON SITE = 25 TREES
TREES REQUIRED 17/ACRE = 22 TREES
EXISTING (6" AND LARGER) TREES TO REMAIN = 19 TREES
REQUIRED TREES TO BE PLANTED
1" TREES = 1
3.5" TREES = 1
4" TREES = 1
MINIMUM NEW TREES REQUIRED TO BE PLANTED = 3
NOTE: ALL LANDSCAPING PLAN (DRAWING 17) FOR PROPOSED PLANTINGS, WHEN EXCEEDS 3 NEW TREES

RECORD OWNER			
SOSKEN, INC. 962 ROUTE 9W, CONIGERS, NY, 10920 P: 845-268-2587			
ARCHITECT			
JAN DEGENSHEIN, ARCHITECT - PLANNER, P.C. 205 SOUTH BROADWAY, NYACK, NY, 10960 P: 845-358-8400			
SURVEYOR			
JAY A. GREENWELL, PLS, LLC SURVEYING - LAND PLANNING 85 LAFAETTE AVENUE, SUITE 100, NEW YORK, 10901 P: 845-357-0830 F: 845-357-0756			

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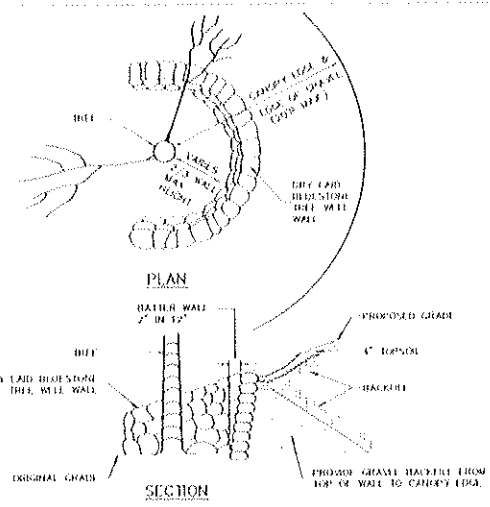
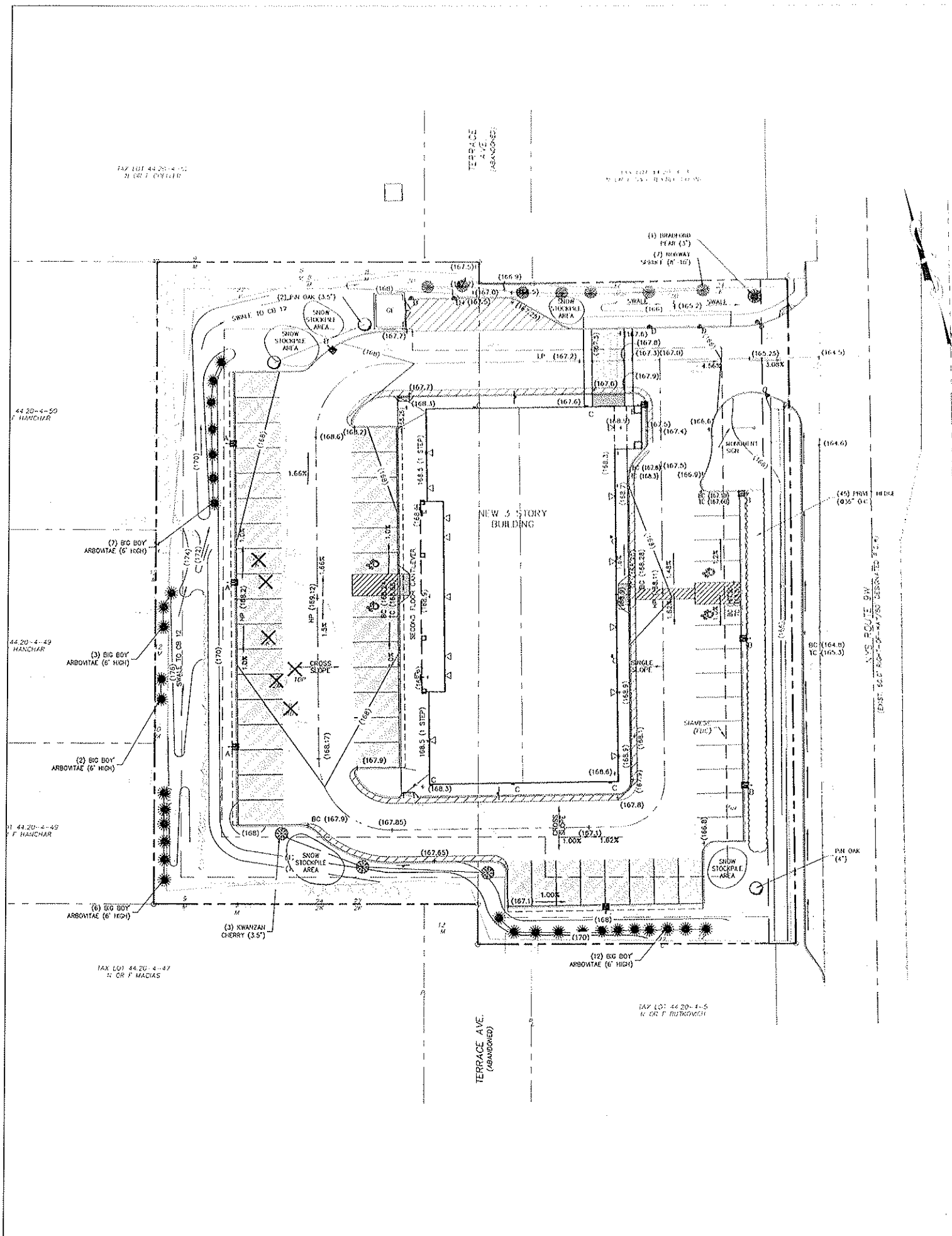
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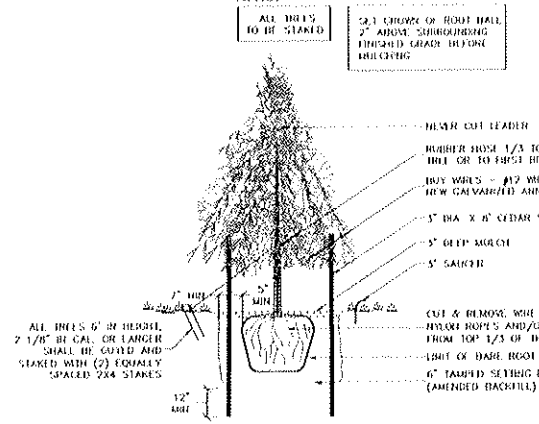
PROJECT: **KENNELLY SQUARE**
TOWN OF CLARKSTOWN
ROCKLAND COUNTY
NEW YORK
TITLE: **TREE PRESERVATION PLAN**

PROJECT NO: 14198	DRAWN: JO	CHECKED: KD
SCALE: 1"=20'		
GRAPHIC SCALE:		
DATE: 11/03/2014	DRAWING NO: 6	

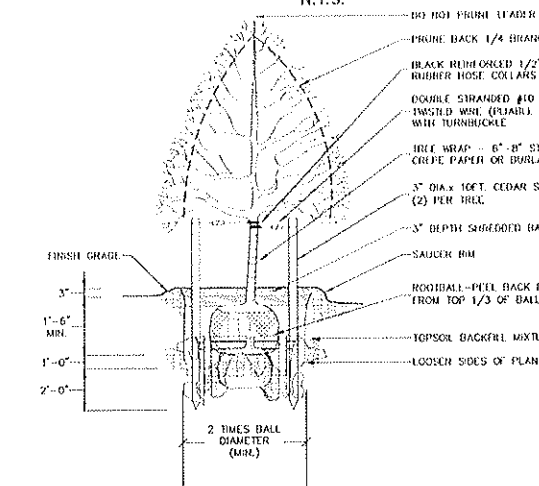




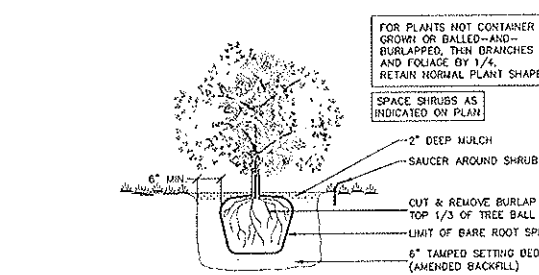
TREE WELL DETAIL
N.T.S.



EVERGREEN TREE PLANTING
N.T.S.



DECIDUOUS TREE PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.

- PLANTING NOTES:**
1. MOUNT ALL PLANTS (TREES AND SHRUBS) WITH A 4" DRAIN OF SODAS CANE OR EQUIVALENT ROOT BARRIER.
 2. STAKE ALL TREES WITH 2 LEGAL STAKES, RUBBER HOSE, AND/OR WIRE (6" OF ABOVE STAKES) AND TRACED (TO STAKE) GROUNDLINE WITH.
 3. PLANT TREES SHALL BE 12" MIN. AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH A MIXTURE OF ONE PART PEAT MOSS TO 4 PARTS TOPSOIL, ADD 3 LBS. FERTILIZER PER 100 SQ. FT. (FOR TREES) - 2 LBS. OF FERT. PER 100 SQ. FT. (FOR SHRUBS).
 4. SUPPLY ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
 5. ALL PLANTING SHALL BE STAKED UNDER DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL BODY OR INDIVIDUAL PRIOR TO PLANTING.
 6. PROVIDE THE NAME OF HANDBAR BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SERVICE FOR ALL PLANT MATERIAL.
 7. ALL PLANT MATERIAL SHALL BE PURCHASED GROWN AND SHIP CERTIFIED TO THE AMERICAN ASSOCIATION OF HORTICULTURE'S STANDARDS.
 8. PLACE 4" OF TOPSOIL ON ALL DISTURBED LAWN AREAS AND ALL AREA NOT PAVED OR BUILT UPON.
 9. PLANT TREES SHALL BE 36" HIGH FOR TREES (GROWING OR TWO TIMES ROOT BALL DIAMETER) AND 24" HIGH FOR SHRUBS AND 6" DEEPER THAN THE ROOT BALL. 5:1 PLANTING AT SAME LEVEL AS ORIGINALLY GROWN OR BASE, OR UNDISTURBED GROUND. THE TRUNK PLANT AND ROOT CORNER SHALL BE VISIBLE AT THE TOP OF THE PLANT BED AT THE TIME OF FINAL INSPECTION. REMOVE ALL EXISTING SOIL FROM PLANT PIT AND BACKFILL WITH A MIXTURE OF ONE PART PEAT MOSS, ONE PART DISTURBED GROUND, AND FOUR PARTS TOPSOIL. FERTILIZE ALL PLANTS WITH 2 TO 3 LBS. OF FERT. PER 100 SQ. FT. AND 2 TO 3 LBS. PER 100 SQ. FT. OF PLANT BED EACH OF AMMONIUM SULFATE AND SUPERPHOSPHATE.
 10. FERTILIZE AREAS BEFORE PLANTING OR SOONEST WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS.
 11. MULCH ALL PLANTS AND PLANTED AREAS WITH A 4" DEPTH OF SHREDED PINE, OAK BARK OR OTHER SHREDED BARK. DO NOT PLACE MULCH AGAINST THE TRUNK PLANT AND ROOT CORNER. MULCH SHALL BE VISIBLE AT THE TOP OF THE PLANT BED WITH NO MULCH AGAINST TRUNK. DO NOT CREATE MOUND OR MOUND AROUND THE TRUNK. FERTILIZE MULCH TO BE SAME AS ORIGINALLY GROWN.
 12. FERTILIZE AREAS BEFORE PLANTING OR SOONEST WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS. FERTILIZE AREAS SHALL BE 15 LBS. PER 1000 SQ. FT. WITH THE FOLLOWING 5:10:10 MAX. 40% JAMS/STON CHURNING FERTILIZER, 40% BAKON KENTUCKY BUCKEYES, AND 10% 20-20-20 FERTILIZER. REPEAT ON APPROVED EQUIVALENT. MULCH HEAVY SEEDING LAWN AT 90 LBS. PER 1000 SQUARE FEET WITH HAY OR STRAW MULCH.
 13. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4 FOOT HIGH SNOW FENCE PLACED AT THE TOP END OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
 14. THE CONTRACTOR IS RESPONSIBLE TO PLANT THE TOTAL QUANTITIES OF ALL PLANTS SHOWN ON THE PLANTING PLAN. CHANGES TO THE SITE PLAN FROM THAT SHOWN ON THE PLANTING PLAN THAT CAUSE DIFFERENT SITE AREAS AVAILABLE FOR PLANTING SHALL HAVE PLANTING ADJUSTED ON SITE BY THE LANDSCAPE ARCHITECT. THE QUANTITIES OF PLANTS SHOWN ON THE PLAN LIST ARE NOT GUARANTEED. THE QUANTITIES OF PLANTS SHOWN GRAPHICALLY ON THE PLAN SHALL GOVERN.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
PRUNUS PUNICATA	KWAZAN CHERRY	3	3.5"
QUERCUS PAUMOTUS	PIN OAK	2	5.5"
TRIFOLIUM 'GREEN GANT'	BIG BOY ARBOVITAE	30	6"
PISTIA CALLEIANA	BRANDON PEAR	1	5"
PISTIA ADIES	HANDBAR SPRUCE	2	8'-10'
DIAPHYLLA AMURICA	PRUNE BRIDGE	45	2.5' HT. x 3' OC

RECORD OWNER:

SOSKEN, INC.
952 ROUTE 9W, COWLES, NY, 10920
P: 845-760-2587

ARCHITECT:

JAN DEGENSHEIN,
ARCHITECT-PLANNER, P.C.
205 SOUTH BROADWAY, NYACK, NY, 10960
P: 845-358-8400

SURVEYOR:

JAY A. GREENWELL, PLS, LLC
SURVEYING - LAND PLANNING
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
P: 845-357-0830 F: 845-357-0756

REV	DESCRIPTION	BY	DATE
5	AS PER 6/26/2015 PRE-APPLICATION MINUTES	JO	9/24/15
4	AS PER 7/15/2015 TAC COMMENTS	SS	7/23/15
3	AS PER 7/01/2015 PB MEETING	JO	7/01/15
2	AS PER 4/15/2015 TAC MEETING	JO	5/20/15
1	FOR PLANNING PB APPROVAL	JO	2/16/15

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OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2209, SUBSECTION 2.

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76 Lafayette Avenue
Suffern, NY 10901
(845) 357-4411

46 N. Central Avenue
Ramsey, NJ 07446
(201) 684-1221

PROJECT:

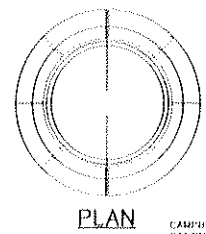
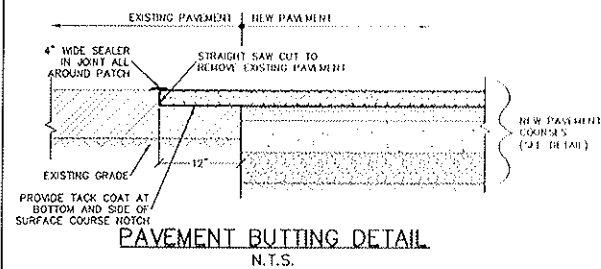
KENNELLY SQUARE
TOWN OF CLARKSTOWN
ROCKLAND COUNTY
NEW YORK

TITLE:

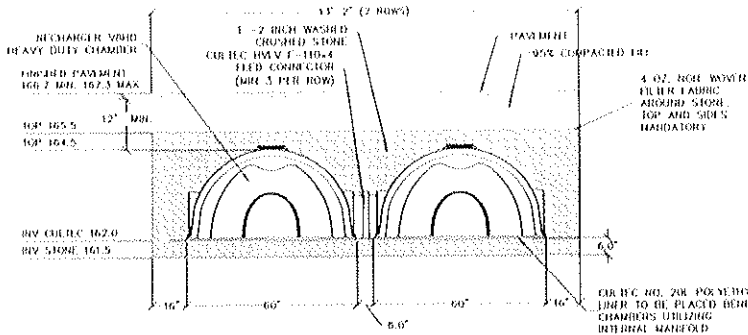
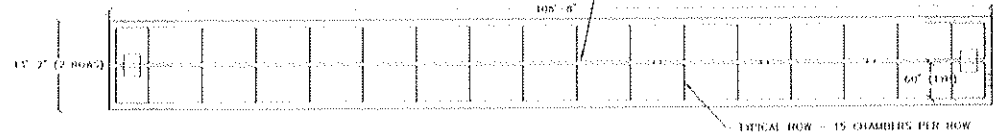
LANDSCAPING
PLAN

PROJECT NO: 14198
SCALE: 1"=20'
GRAPHIC SCALE:
DATE: 11/03/2014
DRAWING NO: 7

BRIAN A. BROOKER,
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 60229

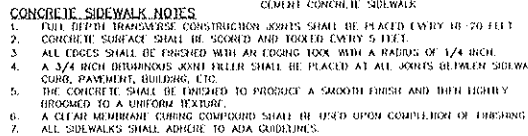
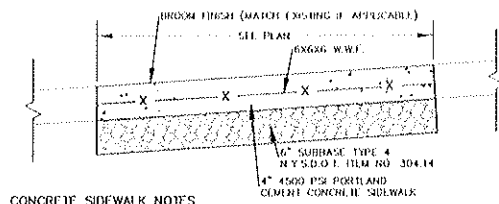
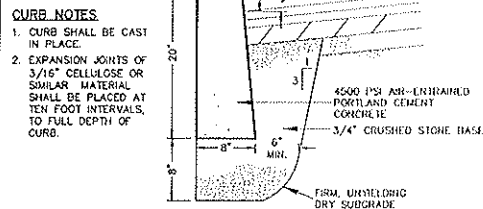


SECTION
STORM MANHOLE FRAME AND COVER
N.T.S.

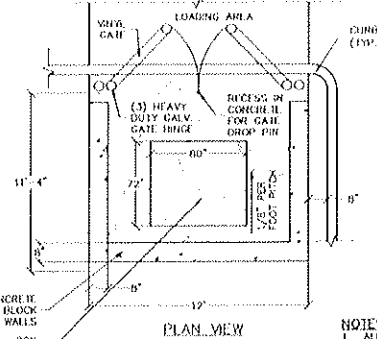


HANDICAPPED PARKING
SPACE DESIGN STANDARDS
N.T.S.

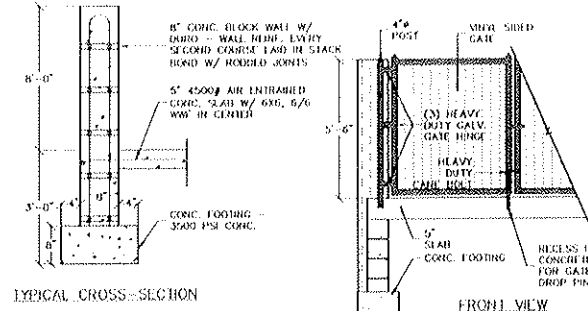
SIGN FOR PARKING SPACE
FOR THE HANDICAPPED
N.T.S.



CONCRETE SIDEWALK DETAIL
N.T.S.



REFUSE CONTAINMENT STRUCTURE DETAILS
N.T.S.

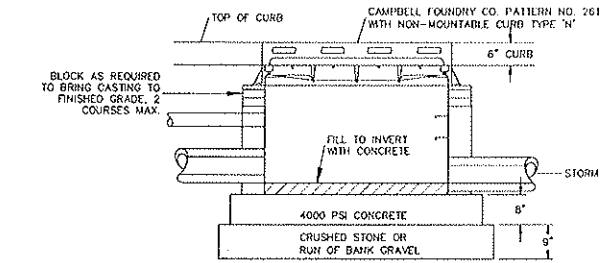
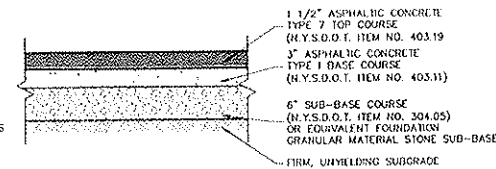


NOTES:
1. ALL FASTENINGS SHALL BE GALVANIZED STEEL.

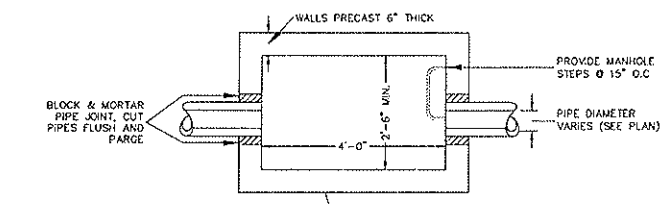
FIRE LANE SIGNS 12"x18"
N.T.S.

NOTES:
1. RED BORDER AND LETTERING, WHITE BACKGROUND.
2. HEIGHT FROM GROUND TO BOTTOM OF SIGN IS MINIMUM OF 7 FT.
3. DISTANCE BETWEEN SIGNS CANNOT EXCEED 200'.
4. FIRE LANE SIGNS MUST HAVE A STARTING AND ENDING SIGNS DESIGNATING SAME.
5. MUST INSTALL THE APPROPRIATE YELLOW PAVEMENT MARKINGS IN CONFORMANCE WITH THE NYS UNIFORM TRAFFIC CODE REQUIREMENTS.

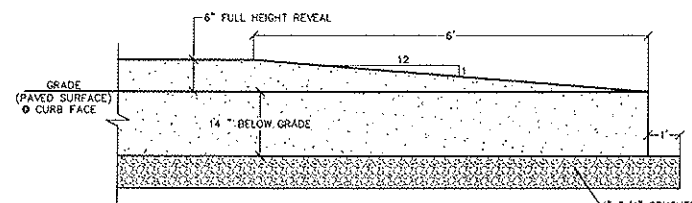
PARKING LOT PAVEMENT SECTION
N.T.S.



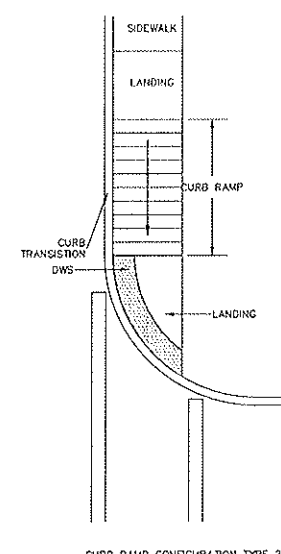
STORM PIPE BEDDING DETAIL
N.T.S.



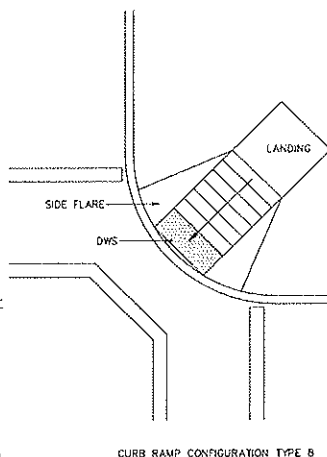
CATCH BASIN DETAIL
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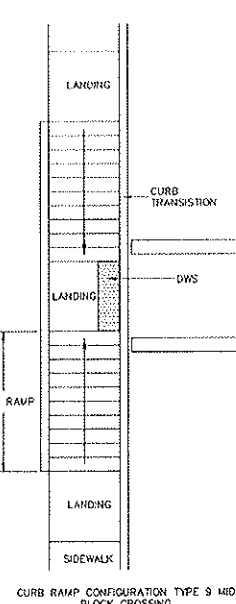
CURB TERMINAL DETAIL
N.T.S.



CURB RAMP CONFIGURATION TYPE 2



CURB RAMP CONFIGURATION TYPE 6



CURB RAMP CONFIGURATION TYPE 9 MID BLOCK CROSSING

SIDEWALK CURB RAMP DETAILS
N.T.S.

RECORD OWNER:			
SOSKEN, INC. 962 ROUTE 9W, CONGERS, NY, 10920 P: 845-268-2587			
ARCHITECT:			
JAN DEGENSHEIN, ARCHITECT-PLANNER, P.C. 205 SOUTH BROADWAY, NYACK, NY, 10960 P: 845-358-8400			
SURVEYOR:			
JAY A. GREENWELL, PLS, LLC SURVEYING - LAND PLANNING 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901 P: 845-357-0830 F: 845-357-0756			

REV	DESCRIPTION	BY	DATE
5	AS PER 8/26/2015 PRE-APPLICATION MINUTES	JO	9/04/15
4	AS PER 7/15/2015 TAC COMMENTS	SS	7/25/15
3	AS PER 7/01/2015 PB MEETING	JO	7/07/15
2	AS PER 4/15/2015 TAC MEETING	JO	5/20/15
1	FOR PLANNING PB APPROVAL	JO	2/16/15

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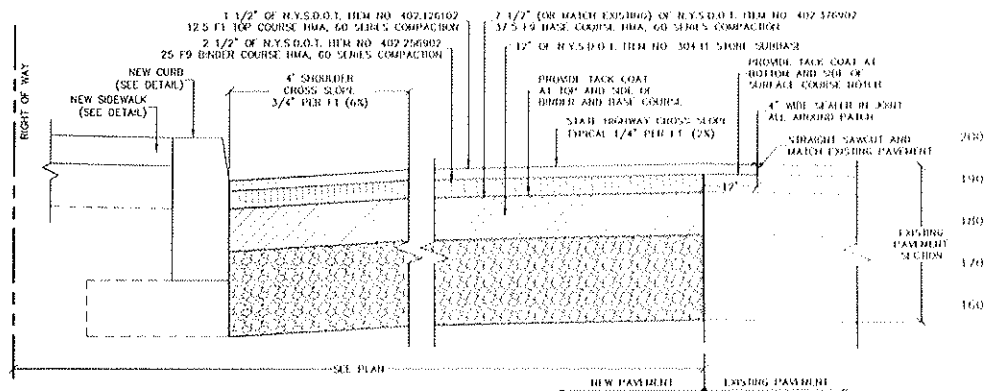
76 Lafayette Avenue
Suffern, NY 10901
(845) 357-4411

46 N. Central Avenue
Ramsey, NJ 07446
(201) 684-1221

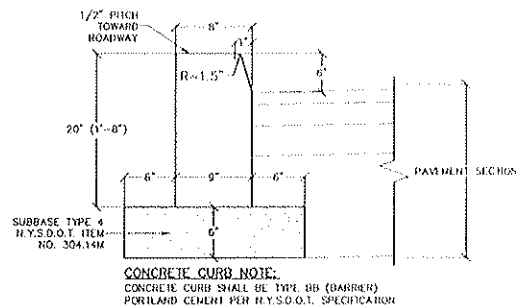
PROJECT: **KENNELLY SQUARE**
TOWN OF CLARKSTOWN
ROCKLAND COUNTY
NEW YORK

TITLE: **CONSTRUCTION DETAILS**

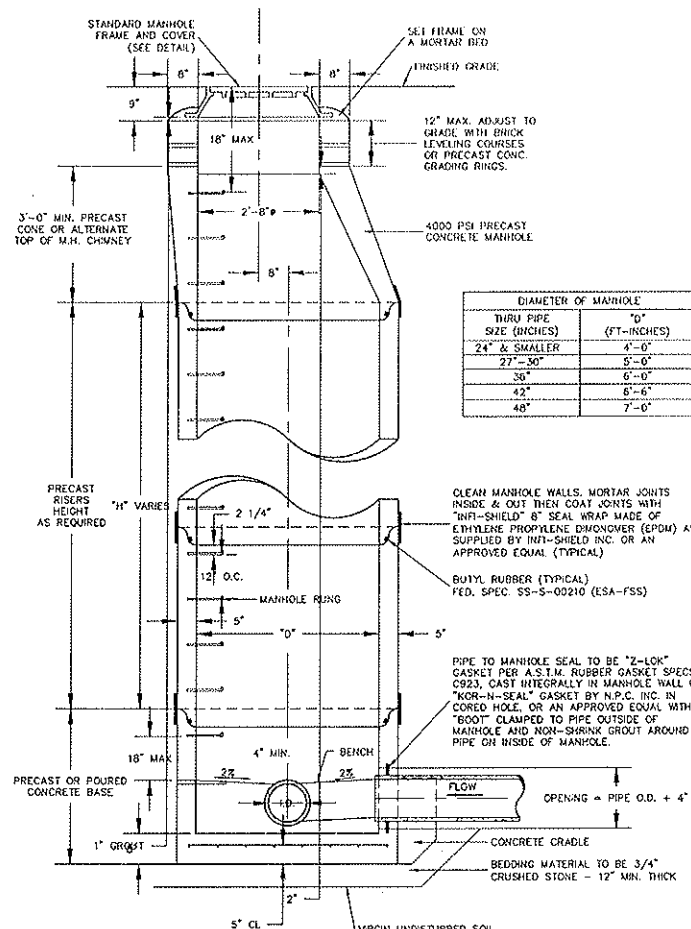
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	SCALE:	1"=20'				
	GRAPHIC SCALE:					
	DATE:	11/03/2014	DRAWING NO:	8		



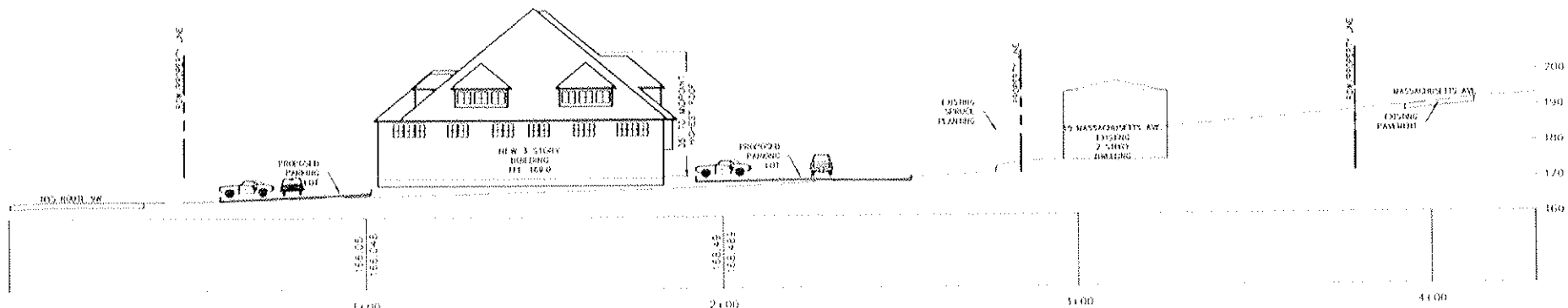
N.Y.S.D.O.T. TYPICAL PAVEMENT SECTION
N.T.S.



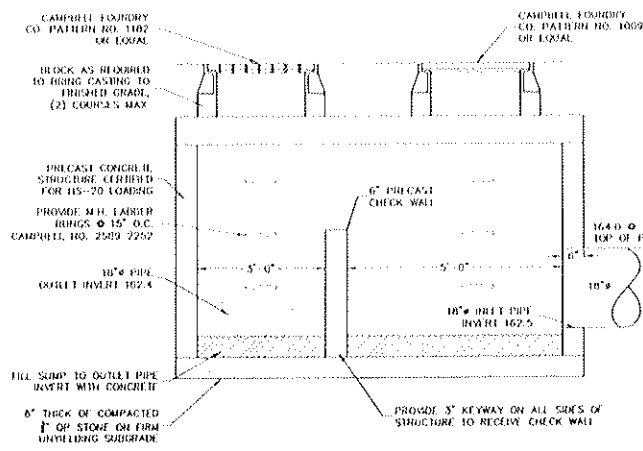
N.Y.S.D.O.T. TYPE VF150 CAST-IN-PLACE
CONCRETE CURB DETAIL
N.T.S.



PRECAST STANDARD MANHOLE
R.C.S.D. NO.1
N.T.S.

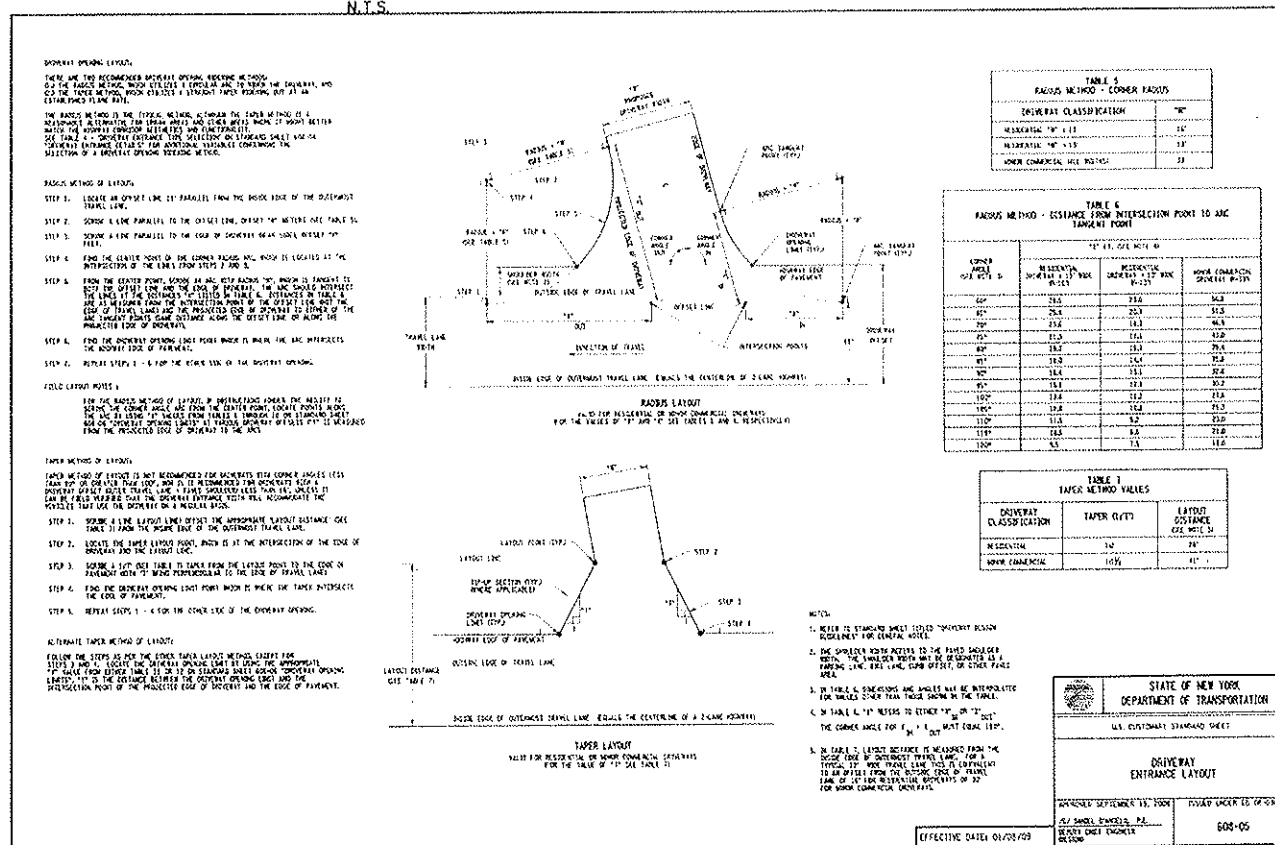


PROFILE
CROSS-SECTION
SCALE: HORIZ. 1"=20'
SCALE: VERT. 1"=20'

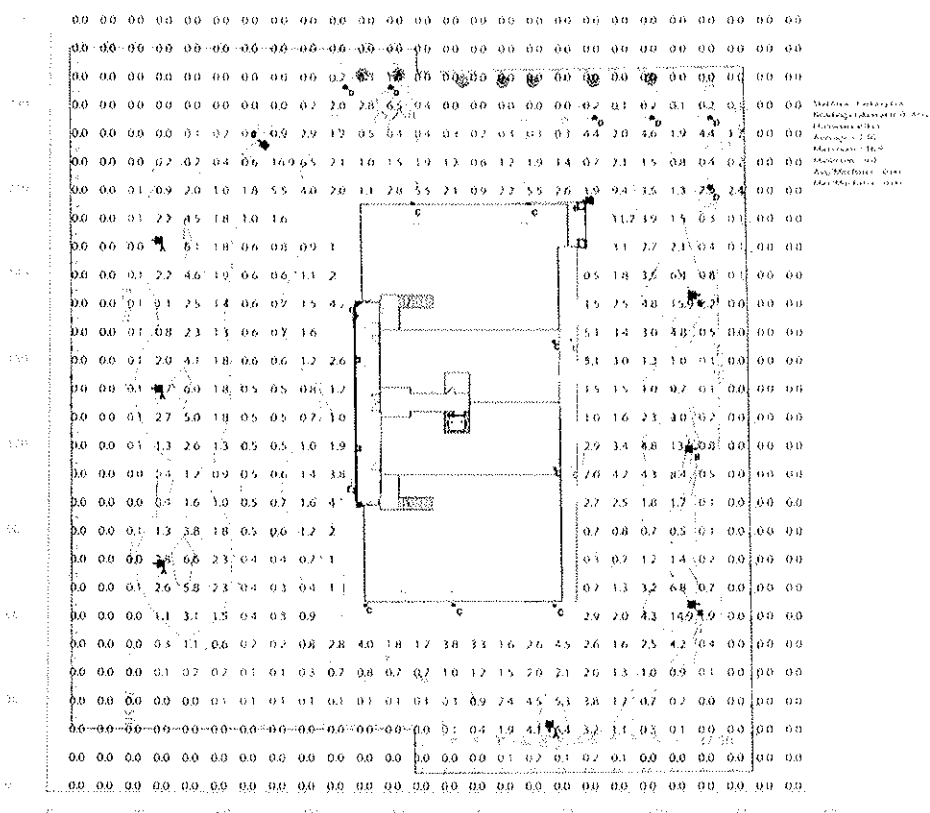


CHECK WALL DETAIL
N.T.S.

OUTLET STRUCTURE DETAIL
N.T.S.



RECORD OWNER:			
SOSKEM, INC. 962 ROUTE 9W, CONERS, NY, 10820 P: 845-768-2587			
ARCHITECT:			
JAN DEGENSHEIN, ARCHITECT-PLANNER, P.C. 205 SOUTH BROADWAY, NYACK, NY, 10960 P: 845-358-8400			
SURVEYOR:			
JAY A. GREENWELL, PLS, LLC SURVEYING - LAND PLANNING 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901 P: 845-357-0830 F: 845-357-0756			
REV	DESCRIPTION	BY	DATE
1	FOR PLANNING PG APPROVAL	JO	2/16/15
2	AS PER 7/15/2015 TAC MEETING	SS	7/25/15
3	AS PER 7/15/2015 TAC MEETING	JO	7/27/15
4	AS PER 8/26/2015 PRE-APPLICATION MINUTES	JO	9/04/15
5	AS PER 7/15/2015 TAC COMMENTS	SS	7/25/15
DISCLAIMER: UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2709, SUBSECTION 2			
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PROJECT:			
KENNELLY SQUARE TOWN OF CLARKSTOWN ROCKLAND COUNTY NEW YORK			
TITLE:			
CROSS-SECTION & DETAILS			
PROJECT NO:	DRAWN:	CHECKED:	
14198	JO	KD	
SCALE:	AS SHOWN		
GRAPHIC SCALE:			
DATE:	DRAWING NO:		
11/03/2014	9		



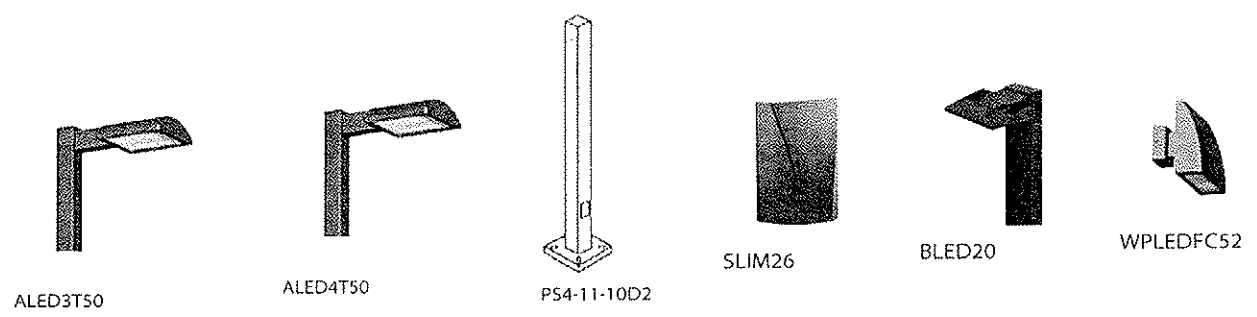
Scale: 1 inch= 30 Ft.

Calculation Summary										PtSpcLr	PtSpcTb	Meter Type
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description				
CalcPis	Illuminance	Fc	1.04	16.9	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG		10	10	Horizontal
CalcPis - Property Line	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG				Horizontal
StatArea - Parking Lot	Illuminance	Fc	2.30	16.9	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG				

Luminaire Schedule											
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
A	4	A	ALED3T50	SINGLE	4846	4846	1.000	ALED3T50	51.7	51.7	206.8
B	5	B	ALED4T50	SINGLE	5196	5196	1.000	ALED4T50	52.1	260.5	1302.5
C	7	C	SLIM26	SINGLE	2049	2049	1.000	SLIM26	29.4	205.8	1420.6
D	6	D	BLED20	SINGLE	1403	1403	1.000	BLED20	21.5	129	774.0
E	2	E	WPLED52	SINGLE	5905	5905	1.000	WPLED52	60.7	121.4	121.4

Expanded Luminaire Location Summary						
LumNo	Label	Tag	X	Y	MTG HT	Orlent
1	ALED4T50	B	224.762	121.328	10	180
2	ALED3T50	A	176	23.913	10	90
3	ALED3T50	A	39.459	80.953	10	0
4	ALED3T50	A	38.459	194.654	10	0
5	ALED4T50	B	75.374	228.668	10	318.366
6	ALED4T50	B	189.5	209	10	0
7	WPLED52	E	114.893	168.862	17	180
8	WPLED52	E	115.143	107.041	17	180
9	ALED4T50	B	225.762	175.682	10	180
10	ALED4T50	B	225.762	66.522	10	180
11	ALED3T50	A	38.459	142.638	10	0
12	SLIM26	C	183.031	159.572	13	0
13	SLIM26	C	183.031	114.85	13	0
14	SLIM26	C	126.873	207.771	13	90
15	SLIM26	C	168.553	207.771	13	90
16	SLIM26	C	177.6	66.531	13	270
17	SLIM26	C	105.46	66.701	13	270
18	SLIM26	C	141.603	66.701	13	270
19	BLED20	D	231.75	238.5	3.5	270
20	BLED20	D	211.75	238.5	3.5	270
21	BLED20	D	191.75	238.5	3.5	270
22	BLED20	D	231.75	213.25	3.5	90
23	BLED20	D	103.25	249.25	3.5	270
24	BLED20	D	119.25	249.25	3.5	270

Total Quantity: 24



NOTES

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumen / initial lumen per lamp manufacturer's specifications.

* Illuminance values shown in footcandles are the predicted results for planar footcandle readings. Actual measured results may vary from the predicted performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insert on point of the luminaire symbol) to be taken at the top of the luminaire mounting assembly and at the bottom of the luminaire for all other luminaire mounting configurations.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and international intellectual property laws. Patents issued or pending apply.

Job Name: Kennedy Site
Kennedy Site
Suffern, NY
Lighting Layout
Version G

Scale: as noted
Date: 6/24/2015
Filename: Kennedy Site Layout: 121614G AGI
Drawn By: A. Murphy

Prepared For:
Dennis Sales
28 Brunswick Ave
Edison, NJ 08817

RAB
LIGHTING
170 Ludlow Avenue, Northvale, NJ 07647
908 772-1000 • FAX 908 772-1001

This lighting layout was prepared using RAB Lighting Inc.'s "Lighting Design" software. It is a computer-generated simulation of the lighting system and does not constitute a contract. The lighting system shall be designed and installed in accordance with the National Electrical Code (NEC) and all applicable local codes. The lighting system shall be designed and installed in accordance with the manufacturer's instructions. The lighting system shall be designed and installed in accordance with the manufacturer's instructions. The lighting system shall be designed and installed in accordance with the manufacturer's instructions.