



# Confidential Inspection Report

LOCATED AT:  
3200 Larissa Dr.  
Los Angeles, CA 90026

PREPARED EXCLUSIVELY FOR:  
Willow Perron

INSPECTED ON:  
Wednesday, September 5, 2018



Inspector, Joe Bass  
Bass Building Inspection, Inc.

Wednesday, September 5, 2018  
Willow Perron  
3200 Larissa Dr.  
Los Angeles, CA 90026

Dear Willow Perron,

We have enclosed the report for the property inspection we conducted for you on Wednesday, September 5, 2018 at:

3200 Larissa Dr.  
Los Angeles, CA 90026

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully. If there is anything you would like us to explain, or if there is other information you desire, please feel free to contact us. We would be pleased to answer any questions you may have.

We thank you for the opportunity to be of service to you.

Sincerely,

Inspector, Joe Bass  
Bass Building Inspection, Inc.



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## Introduction

We have inspected the major structural components and mechanical systems for signs of significant non-performance, excessive or unusual wear and general state of repair. Our inspection is conducted in accordance with the Standards of Practice of the California Real Estate Inspection Agreement. The following report is an overview of the conditions observed.

In the report, there may be specific references to areas and items that were inaccessible. We can make no representations regarding conditions that may be present but were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions may be discovered. Inspection of the inaccessible areas will be performed upon arrangement and at additional cost after access is provided.

We do not review plans, permits, recall lists, and/or government or local municipality documents. Information regarding recalled appliances, fixtures and any other items in this property can be found on the Consumer Product Safety website. These items may be present but are not reviewed.

Our recommendations are not intended as criticisms of the building, but as professional opinions regarding conditions present. As a courtesy, the inspector may list items that they feel have priority in the Summary portion of the report. Although the items listed in this section may be of higher priority in the opinion of the inspector, it is ultimately the client's responsibility to review the entire report. If the client has questions regarding any of the items listed, please contact the inspector for further consultation.

Lower priority conditions contained in the body of the report that are neglected may become higher priority conditions. Do not equate low cost with low priority. Cost should not be the primary motivation for performing repairs. All repair and upgrade recommendations are important and need attention.

This report is a "snapshot" of the property on the date of the inspection. The structure and all related components will continue to deteriorate/wear out with time and may not be in the same condition at the close of escrow.

Anywhere in the report that the inspector recommends further review, it is strongly recommended that this be done **PRIOR TO THE CLOSE OF ESCROW**. This report is not intended for use by anyone other than the client named herein. No other persons should rely upon the information in this report. Client agrees to indemnify, defend and hold inspector harmless from any third party claims arising out of client's unauthorized distribution of the inspection report.

By accepting this inspection report, you acknowledge that you have reviewed and are in agreement with all of the terms contained in the standard California Real Estate Inspection Agreement contract provided by the inspector who prepared this report.

## Introductory Notes

### **ORIENTATION**

**1:** - The subject is a two-story, apartment building consisting of four units.

**2:** - For purposes of identification and reporting, the front of this building faces North.

### **NOTES**

**3:** - An approximate construction date of circa 1923 is assumed.

**4:** - Over the course of this inspection the temperature was estimated to be between 70 and 80 degrees.

**5:** - The weather was sunny at the time of our inspection.

**6:** - There is no garage or parking area on this property.

**7:** - We are not soil, geotechnical, civil, or structural engineers and cannot render an opinion regarding soil stability, potential soil and/or structural movement. If desired, qualified specialists could be consulted on these matters.

**8:** - We make no representations as to the extent or presence of code violations, nor do we warrant the legal use of this building. This information would have to be obtained from the local building and/or zoning department.

**9:** - There may be information pertinent to this property which is a matter of public record. A search of public records is not within the scope of this inspection. We recommend the client or their representative review all appropriate public records.

**10:** - The soil in this area is considered 'expansive' because it expands and contracts with variations in moisture content. This may, in turn, cause movement in the support structure.

**11:** - However, this movement may cause cosmetic cracking, sticking doors, etc. Maintaining good drainage is the most cost effective way to minimize this movement. If desired, information regarding expansive soil could be obtained from a soils engineer.

**12:** - Part or all of the structure may be constructed on fill soils. If desired, a qualified engineer could be consulted for information regarding soil stability, past soil subsidence or any that may be expected.

**13:** - For additional information regarding environmental issues, we suggest you obtain and review the State of California publication, 'Environmental Hazards: Guide for Homeowners and Buyers' available from your real estate professional.

**14:** - There may be conditions conducive to the growth of Fungi and/or related Pathogenic Organisms. These substances may be present at this time.

**15:** - The inspection does not include reporting on the presence of these substances and/or their possible health issues. We recommend further evaluation at this time by a fungal expert in this field is concerned.

**16:** - The scope of this inspection is limited to reasonably accessible areas. We make no attempt to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items.

**17:** - Your inspector may choose to include photos in your inspection report. There are times when only a picture can fully explain the condition or if the client is unable to attend the inspection. Photo inclusion is at the discretion of the inspector and in no way is meant to emphasize or highlight the only conditions that were seen. We always recommend full review of the entire inspection report.

**18:** - The property lines are not determined in this report. An evaluation of the property lines can be determined by a surveyor.

**19:** - The owner and local Department of Building and Safety should be consulted to determine if they are aware of any post earthquake damage, reports or claims regarding the building.

**20:** - The building has been added to and improved. It is recommended that the owner and or local Department of Building Safety are consulted to determine prior to any alterations or additions that all required permits were obtained and final approvals granted.

**21:** - Unit 3200 only is occupied.

## Roofing

*A roof system consists of the surface materials, connections, penetrations and drainage (gutters and downspouts). We visually review these components for damage and deterioration and do not perform any destructive testing. If we find conditions suggesting damage, improper application, or limited remaining service life, these will be noted. We may also offer opinions concerning repair and replacement. Opinions stated herein concerning the roof are based on a limited visual inspection. These do not constitute a warranty that the roof is, or will remain, free of leaks.*

### Built-up Roof System

#### BASIC INFORMATION

**22:** - Location: Covers whole building

**23:** - Roof slope: Flat or very minimal pitch

**24:** - Material: Torch down single ply roofing

**25:** - Layers: Single layer

**26:** - Age: Approximately 1-2 years old

**27:** - Connections and penetrations: Sealed with a combination of metal and mastic seals

**28:** - Roof drainage system: Spillways and scuppers

#### INSPECTION METHOD

**29:** - Our inspection of this roof was conducted from the roof surface. The inspector walked upon the surface and visually examined the accessible roofing components.

**SURFACE (BUILT-UP)**

**30:** - The roofing surface appears to have been properly installed and is in serviceable condition. The typical service life for new cap sheet roofing is approximately 15 years. Along with attention to the items noted and routine maintenance the roof should remain watertight for a number of years. See the comments below for further remarks.



**31:** - It is recommended that the cap sheet is coated with a paint substance that is intended to improve its service life, waterproofing and efficiency.

**32:** - The two small sections of tile roofing at the north wall are in poor condition. Cracked, loose and damaged tiles are observed. Repair replacement is needed.



**33:** - The composition shingle materials installed of the two small porch coverings at the south wall are in serviceable condition. However suspect wood degradation is observed at the framing.



**FLASHINGS: OVERALL**

**34:** - The accessible connection and penetration flashings appear to be properly installed and in serviceable condition. All of the connections and penetrations should be periodically examined for signs of wear, leakage and repairs performed if necessary.

**35:** - The asphalt mastic used at flashing will almost certainly deteriorate before the rest of the roof. Drying and cracking are typical problems. Periodic examination and 'mastic maintenance' is suggested to prevent future leaks.

**PLUMBING VENTS**

**36:** - There are plastic plumbing vents protruding through the roof. Standards require this type of pipe be protected and, in most jurisdictions, this has been interpreted to mean painted for protection against the sun. We recommend the vents be painted for maximum durability.



## APPLIANCE VENTS

**37:** - Installation of 1/4 inch mesh screens at the applicable vent openings is recommended to prevent intrusion of animals and pest into the home.



## GENERAL COMMENT

**38:** - This roof appears to be a newer application. Review of all documentation including warranty and permits is suggested.

**39:** - The owner should be consulted regarding the age, leak and repair history of the roof materials.

**40:** - A transferable warranty should be available for the materials. Consult the owner regarding the circumstances.

**41:** - A roofing contractor should be consulted prior to the rainy season of each year as part of an ongoing maintenance program.

## Attic

*The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often heating ducts, electrical wiring and appliance vents in the attic. We visually examine the attic components for proper function, excessive or unusual wear, general state of repair, leakage, venting and misguided improvements. Where walking in an unfinished attic can result in damage to the ceiling, inspection is from the access opening only.*

## ACCESS/ENTRY

**42:** - The attic access is located at the south wall vent

**43:** - Due to limited clearances, only a partial inspection of the attic space was performed from the access opening.

**44:** - The attic access opening is a nonconforming size. The small opening makes it difficult to access the attic area. We recommend installing a larger opening.

### **ROOF FRAMING**

**45:** - The framing is of typical wood frame methodology. The viewed portions of the roof framing appear in serviceable condition at this time.



**46:** - The viewed portions of the attic and roof structure above the ceiling joists appears to have been completely rebuilt. The reconstruction we were informed was precipitated by a fire. We recommend consulting the owner and the local Department of Building and Safety regarding the circumstances, invoices and permits.

**47:** - The framing near the south wall vent and access opening is deteriorated and/or damaged. A termite inspector should be consulted for a further examination, recommendations and repair.

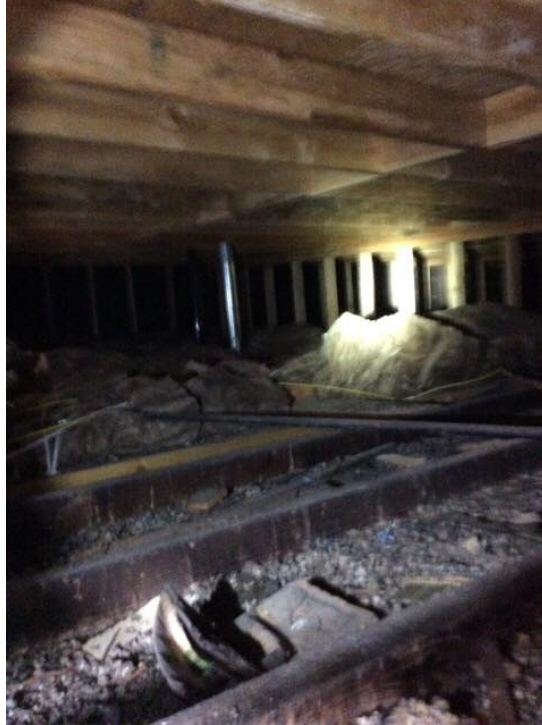


#### **PEST CONTROL**

**48:** - Our observations regarding evidence of pests is not a substitute for inspection by a licensed pest control operator or exterminator. We report current visible conditions only and cannot render an opinion regarding their cause or remediation.

**49:** - The presence of rodents and dropping is observed throughout the attic space. The attic area should be thoroughly cleaned and completely sealed against intrusion of rodents and monitored. We recommend that mechanical traps only be used. Use of poisoned bait is environmentally damaging and strongly discouraged. It is recommended that a specialized contractor is consulted at this time for a complete examination and recommendations as we are not qualified in this field.

**50:** - We observed a unusual amount of bird droppings and nesting materials throughout the attic floor (approximately 2 to 4 inches high in areas). This is a significance health/safety concern. Additionally there is an additional load concern on the ceiling structure above the interior living space. We recommend a specialized contractor who is familiar with this issue be consulted at this time for further examination, recommendations and removal of the droppings and debris. The vents should be screened to limit future habitation.



## **INSULATION**

**51:** - Insulation is not installed. Installation of insulation is recommended to comply with current standards and for energy conservation.

## **VENTILATION**

**52:** - Wall vents provide ventilation.

**53:** - Vent screens at the north wall are damaged and or torn, allowing entry by insects, birds, or animals. We recommend they be repaired or replaced.

## **MISCELLANEOUS**

**54:** - There are conditions indicating a past building fire. The owner or the local building department may have further information on the cause and extent of the fire, any repairs performed and the status of permits involved in such work.

**55:** - We were unable to completely view all areas of the attic due to reduced clearances, obstructions and unhealthy conditions.

# **Building Exterior/Grounds**

## **BASIC INFORMATION**

**56:** - General lot topography: Hillside

**57:** - Site grading: Negative grade conditions are observed adjacent the foundation walls.

**58:** - Walkways: Concrete

**59:** - Primary exterior wall covering: Stucco

**60:** - Primary exterior window materials: Wood

**61:** - Primary exterior door materials: Wood

## **DOWNSPOUTS**

**62:** - The downspouts appear to be properly installed and in serviceable condition, with exceptions noted below.

**63:** - The downspouts that terminate within the planters and adjacent the foundation walls is substandard. It is recommended that the downspouts be extended for improved area drainage.



**GRADING**

**64:** - Grading is flat or sloped toward the structure in some areas. Low spots and negative grading promote water accumulation near the building, leading to foundation problems. Regrading is recommended to ensure that surface water flows away from the structure.



**65:** - There is evidence that this is a 'cut and fill' site. We noted areas of concern. We are unqualified to analyze soil conditions or recommend action. We feel it would be prudent to locate and review soils reports, construction records, permits, etc. that would document the history of this site. We recommend further geological evaluation and/or engineering by qualified personnel.

**66:** - There is evidence of soil instability around this building site. We are unqualified to analyze soil conditions or recommend action. We recommend further evaluation and engineering by qualified personnel.

**67:** - For attention to the condition(s) noted above, and/or cost estimates, if necessary, we recommend the advice and services of a licensed geotechnical engineer.

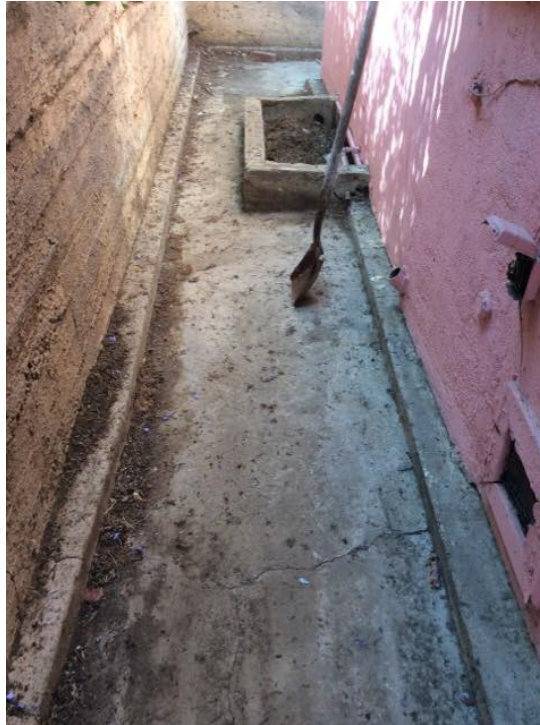
### **DRAINAGE**

**68:** - Site drainage is beyond the scope of the inspection. However some comments are provided as a courtesy.

**69:** - It is our opinion that the existing surface drainage is insufficient. It is also noted that the drainage for the adjacent building directed towards the subject building. We recommend that upgrades to the sites drainage be undertaken.



**70:** - Evidence of water pooling at the grounds is observed. Improvement to the site drainage is recommended. See the comments elsewhere in the report for remarks regarding drainage.



**71:** - Due to the nature of the property a geological inspection should be performed. We recommend that the seller be consulted to determine if they are aware of any foundation, soil or drainage problems in the area or at the subject property.

**72:** - For attention to the condition(s) noted elsewhere, and/or cost estimates, if necessary, we recommend the advice and services of a licensed landscaping or drainage contractor.

### **STUCCO**

**73:** - The exterior appears recently painted.

**74:** - There is cracked stucco indicating movement at the foundation. These surfaces can be patched, but if movement in the structure is not addressed, the cracks may return and/or become more noticeable.





**75:** - Portions of the exterior appear recently painted. Numerous cracks and repaired areas are noted at the stucco throughout the building. As with any recently refinished and freshly painted surface, the stucco may have conditions present that were not readily apparent at the time of our inspection. We do not suggest that this inspection has identified all such conditions.





**76:** - The stucco extends over the foundations below the finished grade. This configuration is no longer approved but was accepted practice when installed. Because hidden fissures may facilitate infestation, a periodic pest inspection would be prudent.

**77:** - Obvious repairs and/or modifications have been made to the stucco walls. Some repairs at the walls are likely the result of "seismic bulging". The owner may have information about the original conditions, the repair or remodeling work, and any permits that were required, obtained and completed.

**78:** - Because damage may extend into the inaccessible framing and associated members, the extent of concealed damage will not be known until repairs are in progress.

**79:** - A minimal and/or zero setback condition is noted at the walls and slopes. The condition may be permissible under the "Grandfather Clause".

## **SCREENS**

**80:** - The window screens where present appear serviceable. Missing screens are noted at some of the windows.

## WINDOWS

**81:** - Many windows are deteriorated or damaged. We recommend they be detailed, repaired and/or replaced. A termite inspector should be consulted for a further examination and recommendations.



**82:** - Windows are weathered with loose joints. They will require servicing to extend their useful life. We recommend attention to this before irreversible deterioration develops.

**83:** - Wrought iron security bars are not within the scope of inspection and are not tested. It is recommended that if release mechanisms are not installed or do not function, it is recommended that the bars be removed immediately as a safety measure. Further examination and review by a qualified technician is recommended.

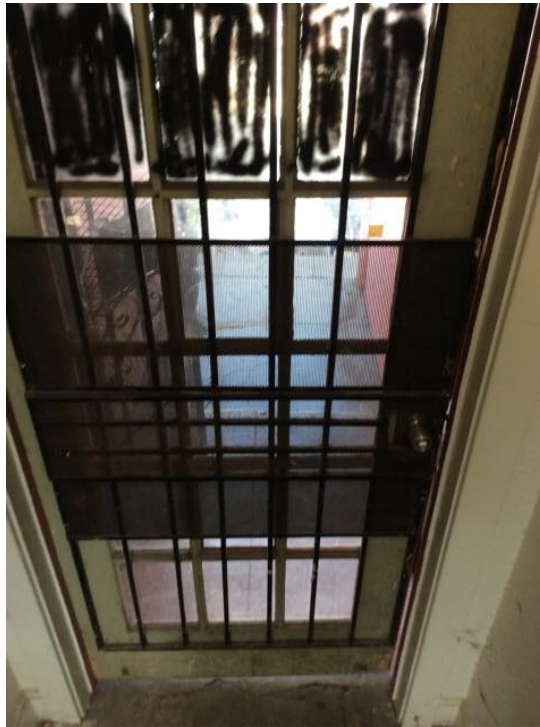
**84:** - Drip flashings are missing at some of the hinged windows. Installation drip flashings is recommended to prevent water accumulation and intrusion.



## **DOORS**

**85:** - The exterior doors appear to be properly installed and generally in serviceable condition, with exceptions noted below.

**86:** - The knob and lock assembly at the lower south door is missing. Damage is also noted at the entry doors.



### **WEATHERSTRIPPING**

**87:** - There is no weatherstripping at the windows. This is typical for a building this age, and there is no requirement that any action be taken. However, to conserve energy and lower utility bills, weatherstripping could be installed at minimal cost.

### **PUBLIC WORKS**

**88:** - Many public works departments define a trip hazard as an irregularity in a walking surface exceeding one inch in height. We suggest that all walking surfaces be maintained free of trip hazards.

### **WALKWAYS**

**89:** - There are trip hazards in the walkways. We recommend they be patched or repaired to prevent injury.

**90:** - There are significant cracks in the walkways. We recommend the walkways be replaced to restore their appearance and safety.



#### **ENTRY PORCH**

**91:** - The entry porch surface appears satisfactory.

#### **DECK**

**92:** - Like fences and other exposed wood construction, decks have a finite service life. Even the best maintained deck will need repair and eventual replacement. We urge regular treatment with combination wood preservative/UV inhibiting sealers.

**93:** - The finish is worn. Rehabilitation and regular maintenance is advised for enhanced appearance and maximum durability.

**94:** - It is our opinion that the decking material used for this installation is of poor quality. The large knots and uneven surfaces are a tripping hazard and the rough surfaces are easily splintered and would be a hazard to bare feet.

**95:** - For maximum enjoyment of the deck, we recommend the existing boards be replaced with high quality material more in conformance with common practice.

## STAIRS

96: - The exterior stairs appear to be properly constructed and are in serviceable condition.



## RAILINGS

97: - The dimensions of the hand and guardrails at the stairways and balconies do not comply with current standards. The conditions may be permissible under the "Grandfather Clause". However installation of conforming hand and guard rail systems should be considered.



**PEST CONTROL**

**98:** - Our observations regarding evidence of pests is not a substitute for inspection by a licensed pest control operator or exterminator. We report current visible conditions only and cannot render an opinion regarding their cause or remediation.

**WALLS AND FENCES**

**99:** - Retaining walls, yard walls, fences and gates are not within the scope of the inspection. However some comments are given as a courtesy and for a better understanding of the property. The fences and gates generally appear serviceable at this time. Sections of the walls throughout the grounds are cracked and displaced. The source/significance is not determined. Soil build up from apparent surface erosion is also noted at some of the walls. Bricks have been loosely placed above some of the walls. Consult the owner regarding the circumstances.





## **EXTERIOR PLUMBING**

**100:** - Testing of the irrigation systems if present is beyond the scope of this inspection.

## CLEANOUT

**101:** - Clean-out caps at the exterior walls are missing. We recommend they be replaced.



## Foundation/Crawl Space/Basement

*The crawl space is where most of the building's structural elements and portions of its mechanical systems are located. These include foundation, structural framing, electrical, plumbing and heating. Each accessible and visible component and system is examined for proper function, excessive or unusual wear and general state of repair. It is not unusual to find occasional moisture and dampness in crawl spaces. Significant and/or frequent water accumulation can adversely affect the building foundation and support system and would indicate the need for further evaluation by a specialist. Although observed in the crawl space, some items will be reported under the individual systems to which they belong.*

### BASIC INFORMATION

**102:** - Foundation type: Raised perimeter

**103:** - Foundation material: Poured concrete

**104:** - Mudsill: Not bolted

**105:** - Wall system: Wood stud walls

**106:** - Floor system: Wood joists support by beams

### ACCESS

**107:** - The crawl space is accessible from an exterior hatch.

**108:** - We are unable to completely view all areas of the crawlspace due to reduced clearances and obstructions. The north walls are not viewed completely. Creation of larger access openings should be considered.

## FOUNDATION

**109:** - Efflorescence is observed at the foundation concrete denoting moisture penetration. This whitish, fuzzy material is a 'salt' deposit left when moisture in the foundation evaporates on the inside of the foundation.

**110:** - This indicates an occasional surplus of moisture on the outside of the foundation. Steps could be taken to improve the exterior drainage but no other action is indicated at this time.

**111:** - The foundation walls have a surface scaling known as 'spalling', which can result from deterioration of old, weak concrete or from a moisture reaction known as 'sulfating'. We find the concrete still serviceable but we recommend monitoring.

**112:** - There are small and/or moderate cracks visible. We observed no related conditions suggesting the need for immediate repairs. We recommend these cracks be monitored. If ongoing movement is observed, further review would then be recommended.

**113:** - Approximately 4-6 expansive cracks and significant displacement is observed at the concrete stem walls. The source/significance is not determined. The need for significant repairs or replacement of the damaged portions of the foundation stemwall should be anticipated. See the comments elsewhere in the report regarding the walls and framing.





**114:** - Sloping and uneven areas are noted at the interior floors. The source/significance is not determined.

**115:** - There are areas of exposed aggregate which are known as 'rock pockets'. We recommend these areas be filled to protect the interior reinforcing steel from exposure and subsequent damage.

**116:** - The foundation walls appears to be unreinforced, and is considered substandard by today's requirements. The condition is permissible under the "Grandfather Clause".

**117:** - Portions of the foundation is failing due to age, original quality concrete and water/drainage related issues. Deterioration will increase and accelerate over time if the causes are not addressed. While the foundation may function for the near term in its present condition, repair or replacements must be anticipated.

**118:** - The foundation is failing due to its inability to resist movement in the underlying soils. There is significant cracking, settling and/or rotation. While the foundation may function for the short term, repair or replacement must be anticipated.

**119:** - For further information regarding these conditions, we recommend a qualified engineer be retained for evaluation of the internal stability of the foundations and soils beneath them, and for analysis and prediction of future performance.

## **WALL FRAMING**

**120:** - Water stains were observed at several areas of the wall framing. The source of the moisture should be identified and repairs made.

**121:** - The wall framing near at the east side near the access opening is displaced and damaged due to movement of the underlying foundation wall. A previous substandard repair attempt has been made. The repair appears ineffective and has failed. Changes in use or other conditions could lead to additional damage or failure. We recommend the framing be repaired or replaced in accordance with present standards.



## SUBFLOORING

**122:** - Generally, the subflooring is in serviceable condition. However, the subfloor beneath the kitchens and bathrooms plumbing systems is degraded and damaged. Approximately 5 to 7 active leaks are noted at the drain line systems in the crawlspace. We recommend the subflooring be repaired and all damaged material replaced. A termite inspector should be consulted for a further examination, recommendations and repair.



**123:** - We recommend all damaged materials be replaced. Because damage may extend into the inaccessible framing and associated members, the extent of concealed damage will not be known until repairs are in progress.

## FLOOR JOISTS

**124:** - The joists are too short and the end bearing is inadequate by present standards. This compromises their ability to adequately support the frame. We recommend repair or modification to conform to present standards.

## BEAMS

**125:** - Several beams at the east region no longer bearing due to displacement of the foundation wall to the point that they are no longer load bearing. We recommend repair or replacement in accordance with present standards.





## **POSTS**

**126:** - Several cripple studs (2x4's) have been removed at the interior walls for access purposes. Replacement of the studs is recommended.

**127:** - A number of the supports are out of plumb or have shifted to the side. This may compromise their ability to perform as designed. We recommend all posts that are out of plumb be adjusted to provide full support.

## **PIERS**

**128:** - Many of the piers have shifted or settled slightly since installation. This is an indication of expansive soils and, in this case, no action is indicated other than attention to moisture and drainage issues discussed elsewhere in this report.

**129:** - Some of the concrete support piers are deteriorated, which is a common observation for homes of this age. No action is indicated at this time. However monitoring and repair/replacement is suggested if determined necessary.

## **ANCHOR BOLTS**

**130:** - Anchor bolts are fasteners that connect the wood framing to the foundation. They limit the framing's ability to move independently on the foundation in the event of seismic activity.

**131:** - There are no visible anchor bolts. We recommend the mudsills be anchored at regular intervals to the foundation, in accordance with present standards.

## **SHEAR PANELS**

**132:** - Shear panels are special plywood panels installed on garage and foundation area framing, connected to and running from the mudsill, up the studs, and terminating at the top plate. They help the framing resist lateral movement or 'racking'.

**133:** - The cripple walls in this building are not reinforced with shear paneling. Unbraced cripple walls are typical for homes of this age, but this is considered a deficiency. Upgrading is not required but would be prudent in this case.

## **VENTILATION**

**134:** - Ventilation in the crawl space is minimal by present standards. However, no adverse conditions appear to have resulted from this condition and installation of additional vents would be considered an optional upgrade.

**135:** - Because of the configuration of the foundations, ductwork, and other items, portions of the crawl space have inadequate cross ventilation. If mustiness becomes evident, installation of additional vents would be recommended.

**136:** - Several crawl space vent screens are damaged or incomplete. We recommend they be repaired or replaced to prevent access by rodents or other pests.



## **MOISTURE**

**137:** - There is evidence of past moisture entry and periodic accumulation of water in the crawl space. Minor pockets of water are not unusual. In most cases, minor water entry is not a concern provided the crawl space has adequate clearance and venting.

**138:** - Wide cracks were noted in the dry soil under the building, suggesting the movement that takes place in expansive soils. Changing moisture conditions in the soil may cause these cracks to open and close over time.

**139:** - To keep the moisture infiltration to a minimum, we recommend that all surface drainage, including water from the downspouts, be directed as far away from the building as possible. Watering landscaping should be minimized and controlled.

**140:** - The crawl space should be monitored during the rainy season to determine if excess moisture is present. If excessive moisture develops, drainage upgrading should be considered.

### **PEST CONTROL**

**141:** - Our observations regarding evidence of pests is not a substitute for inspection by a licensed pest control operator or exterminator. We report current visible conditions only and cannot render an opinion regarding their cause or remediation.

**142:** - Evidence of past animal intrusion and droppings is observed within the crawlspace. The crawlspace should be thoroughly sealed and maintained against intrusion of animals. We recommend mechanical traps only be set and monitored. Use of poisoned bait is environmentally damaging and is strongly discouraged. The advice and services of a licensed exterminator is also recommended.

### **DRAIN LINES**

**143:** - There is surface deterioration, cracks and leakage at the exposed and accessible piping. We recommend that these lines be repaired or replaced.





## **GAS PIPING**

**144:** - There are sections of gas lines that is not adequately supported. We recommend that all gas lines be supported and secured in accordance with conventional building standards.

**145:** - There are union fittings installed in the gas lines. This type of fitting is no longer approved for this use as they are prone to leakage. The condition may be permissible under the "Grandfather Clause". No leaks were detected and upgrading this condition with approved left-and-right hand couplings would be optional.

## **FLOOR INSULATION**

**146:** - There is no insulation beneath the floors, which is a common finding in older homes. While optional, upgrading would reduce cold air infiltration and make the home more comfortable.

## **MISCELLANEOUS**

**147:** - Construction debris is noted throughout the crawlspace. Removal of the debris is suggested.

## **GENERAL COMMENT**

**148:** - The conditions observed and noted are considered significant and may effect the performance of the foundation and/or the support system of this building.

**149:** - We recommend an engineer be retained to evaluate the building and determine what corrective measures are necessary.

**150:** - We recommend a foundation expert and/or engineer be retained at this time to evaluate the building and determine what corrective measures are necessary as we are not fully qualified in this field.

## **Interior**

*Our review of the interior includes inspection of walls, ceilings, floors, doors, windows, steps, stairways, balconies and railings. These features are visually examined for proper function, excessive wear and general state of repair. Some of these components may not be visible/accessible because of furnishings and/or storage. In such cases these items are not inspected.*

## **BASIC INFORMATION**

**151:** - Finished ceiling material: Plaster and drywall

**152:** - Finished wall material: Plaster and drywall

**153:** - Window glazing: Mostly single pane, with double pane in the newer windows

**154:** - Window material: Wood

**155:** - Door Material: Wood

**156:** - Finished floor material: Wood, tile and vinyl

## **WALLS & CEILINGS**

**157:** - The interior appears recently painted. Numerous repairs are noted at the ceiling and walls throughout the interior. It was not raining at the time of our inspection. Therefore, we are unable to test for actively in water tightness. The owner should be consulted regarding cracks, any past water intrusion issues and repairs within the interior.

**158:** - As with any recently refinished and freshly painted surface, conditions may be present that were not readily apparent at the time of our inspection. We do not suggest or represent that this inspection will identify all such conditions.

**159:** - There are minor cracks present and repaired cracks observed at the ceilings and walls throughout the interior. The cracks can be repaired or painted over during routine maintenance but, in our opinion, they will probably recur over time. Refer to Sub-structure notes.

**160:** - It is possible that sprayed acoustic materials have been removed and/or are encapsulated at the ceilings and some wall areas throughout the interior. Sprayed acoustic materials at homes of this age often contain asbestos. The owner should be consulted regarding the presence and/or removal of any suspect asbestos containing materials. It may be desired to consult an asbestos contractor at this time for a further examination, testing and recommendations as we are not qualified in this field.

**161:** - In consideration of the construction date of the home. Lead-based paint may be present. Testing for the presence of lead-based paint is beyond the scope of this inspection. It may be desired to consult a specialized contractor at this time for testing for the presence of lead based paint and recommendations.

#### **WINDOWS: OVERALL**

**162:** - The original panes are not constructed of tempered safety glass which is typical for homes of this age. The condition may be permissible under the "Grandfather Clause". Because tempered safety glass is harder to break and less likely to cause injury if broken, safety glass is now required in specified locations. These include, but are not limited to, all door glass, most large windows, and windows near doors and floors.

**163:** - A number of windows do not operate smoothly and/or are difficult to operate. We recommend all windows be detailed, including cleaning, lubricating, and adjusting hardware where necessary.

**164:** - The low sill heights do not comply with current standards and present a fall hazard. The condition may be permissible under the "Grandfather Clause". However installation of a approved guard rail system or stop mechanism to prevent the windows from opening greater than 4 inches should be considered as a safety measure and to comply with current standards.

#### **DOORS: OVERALL**

**165:** - The interior doors appear to be properly installed and in good condition, with exceptions noted elsewhere in the report.

**166:** - Several of the doors have been modified, probably to compensate for soil movement, lumber shrinkage, etc. over the years. It can be expected that additional modifications to these or other doors may be required in the future.

**167:** - A significant number of the doors are a poor fit and have uneven gaps. This is a common observation for buildings of this age.

**168:** - Several of the doors have loose or missing hardware. We recommend that hinges, latches, and strike plates be adjusted or replaced to restore full operation.

**169:** - Several of the door knobs are worn and/or function poorly. Service for proper operation is recommended as maintenance.

#### **FLOORS**

**170:** - Sloping and uneven floors are noted throughout the interior. The source/significance is not determined.

**171:** - Some areas of the floors squeak when walked on. This does not affect the functional use of the floor. Squeaks can usually be eliminated, if desired, by additional attachment of the subfloor to the floor joists.

**172:** - We are unable to determine if asbestos-containing materials are present at or below any floor coverings within the interior. Further examination by a qualified asbestos contractor should be considered.

### **STAIRS**

**173:** - The stairs were used several times during the inspection. The various components appear to be properly installed and no deficiencies were noted during use.

### **RAILINGS**

**174:** - The railings appear to properly installed and are generally in serviceable condition, with exceptions noted below.

**175:** - The railings at the entry are loose. We recommend they be repaired or replaced.



**176:** - The railings are serviceable. However the dimensions of the guard rails and open ends at the hand rails do not comply with current standards. Installation of conforming hand and guardrail systems should be considered as a safety measure.



#### **GENERAL COMMENT**

**177:** - There are newer, non-original items and/or construction features in this building. We suggest that you review all plans and permits.

**178:** - Consideration should be given to consult a mold expert at this time for a examination of the home and recommendations as we are not qualified in this field.

**179:** - Smoke and carbon monoxide alarms are not within the scope of this inspection. Therefore, it should be verified at this time by a qualified expert that functioning smoke and carbon monoxide alarms are installed where required by current standards.

## **Living Room**

### **Unit 3200**

#### **GENERAL COMMENT**

**180:** - Non-original construction was noted. We suggest review of all plans and permits with the owner and/or the local building official for information regarding this work.

## CEILING

**181:** - Repaired areas are noted at the ceiling. The repairs appear to be the result of past roof leaks. The owner should be consulted regarding the circumstances and repairs.



## WALLS

**182:** - The walls are generally serviceable, except for the item(s) noted.

**183:** - Repaired areas are noted at the walls. The owner should be consulted regarding any past water intrusion issues and repairs.

**184:** - There is water staining, however no sign of active leakage was detected. If additional staining develops, the source of leakage should be identified and necessary repairs performed. Prepare and refinish the surface to restore its appearance.



#### **FLOOR**

**185:** - The carpet is soiled.

#### **WINDOWS**

**186:** - The windows are serviceable.

#### **DOORS**

**187:** - The doors are serviceable.

#### **LIGHTS**

**188:** - There is a missing light fixture at the north wall. Trim is missing at the ceiling light.

#### **RECEPTACLES**

**189:** - The receptacles were found to be properly installed and in serviceable condition.

#### **MISCELLANEOUS**

**190:** - Two closets were locked and therefore were inaccessible at the time of the inspection.

### **Unit 3202**

#### **CEILING**

**191:** - Repaired areas are noted at the ceiling. The repairs appear to be the result of past roof leaks. The owner should be consulted regarding the circumstances and repairs.

**192:** - The ceiling has been repairs in a substandard manner. We recommend it be repaired or refinished.



#### **WALLS**

**193:** - The walls appear satisfactory.

#### **FLOOR**

**194:** - The wood floor is satisfactory.

**195:** - Prominent sloping and uneven areas are noted at the floors within the interior. The source/significance is not determined.

#### **WINDOWS**

**196:** - The windows are generally serviceable, with exceptions noted.

**197:** - One or more windows are deteriorated. We recommend they be repaired or replaced. A termite inspector should be consulted for a further examination, recommendations and repair.



## **DOORS**

**198:** - The doors are serviceable.

**199:** - The stop rail at the entry is in complete. Doors are missing at the closet.



## SWITCHES

**200:** - The electrical switches and lights are serviceable.

## RECEPTACLES

**201:** - There are several ungrounded three prong receptacles in this area. We recommend they be properly grounded or restored to their original two prong configuration.

## Unit 3204

### CEILING

**202:** - The is satisfactory. See the comments below for further remarks.

**203:** - Repaired areas are noted at the ceiling. The repairs appear to be the result of past roof leaks. The owner should be consulted regarding the circumstances and repairs.

### WALLS

**204:** - The walls appear satisfactory.

### FLOOR

**205:** - The vinyl floor is satisfactory.

### WINDOWS

**206:** - The windows are generally serviceable, with exceptions noted.

**207:** - The northwest window is not equipped with drip flashings and leaks. We recommend it be repaired or replaced.



### DOORS

**208:** - The hinged doors are serviceable.

**ELECTRICAL**

209: - The electrical switches, lights and receptacles are serviceable.

**Unit 3206**

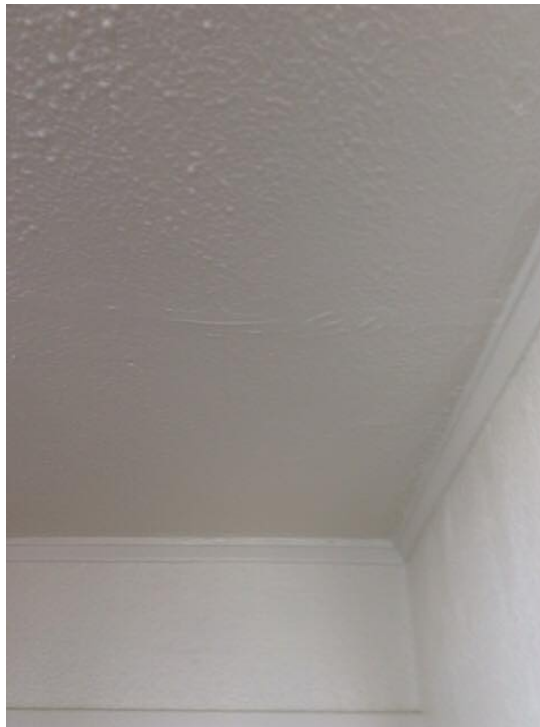
**GENERAL COMMENT**

210: - Non-original construction was noted. We suggest review of all plans and permits with the owner and/or the local building official for information regarding this work.

**CEILING**

211: - The is satisfactory. See the comments below for further remarks.

212: - Repaired areas are noted at the ceiling. The repairs appear to be the result of past roof leaks. The owner should be consulted regarding the circumstances and repairs.



**WALLS**

213: - The walls appear satisfactory.

**FLOOR**

214: - The vinyl floor is satisfactory.

**WINDOWS**

215: - The windows are serviceable.

**DOORS**

216: - The doors are serviceable.

217: - Two doors are missing at the closet.

**218:** - The mirror at one closet door is cracked.



#### **ELECTRICAL**

**219:** - The electrical switches, lights and receptacles are serviceable.

#### **MISCELLANEOUS**

**220:** - The flexible gas line entering the floor is substandard. We recommend it be repaired in accordance to standards.



## Kitchen

*The kitchen is visually inspected for proper function of components, active leakage, excessive or unusual wear, and general state of repair. We inspect built-in appliances to the extent possible using normal operating controls. Freestanding stoves are operated, but refrigerators, small appliances, portable dishwashers, and microwave ovens are not tested.*

### Unit 3200

#### CEILING

**221:** - Repaired areas are noted at the ceiling. Consult the owner regarding the circumstances.



#### WALLS

**222:** - The walls are generally serviceable, except for the item(s) noted.

#### FLOOR

**223:** - The vinyl floor is serviceable.

## **COUNTERTOPS**

**224:** - The countertop is deteriorated, which affects its appearance and may limit its remaining useful life. We recommend it be repaired or replaced.



## **CABINETS**

**225:** - The cabinets are deteriorated/damaged. This would include loose hinges and/or track glides damaged drawers/doors and worn finish surfaces. We recommend they be repaired or replaced.

## **WINDOWS**

**226:** - The windows are serviceable.

## **DOORS**

**227:** - The doors are serviceable.

## **ELECTRICAL**

**228:** - The electrical switches, lights and receptacles are serviceable at this time.

## **LIGHTS**

**229:** - Trim/covers are missing at the lights.

## **FIXTURES**

**230:** - The plumbing fixtures are serviceable.

## **SINK**

**231:** - The caulking at the sink rim is worn and discolored. Replacement is recommended.



## **DRAIN TRAPS**

**232:** - Although we observed no leakage, the drain trap and/or drain lines are deteriorated and its remaining life is limited. We recommend consideration be given to replacing it now before they leak.

## **REFRIGERATOR**

**233:** - Refrigeration equipment is not within the scope of the inspection and not examined. However the refrigeration equipment appears serviceable at this time. The mechanical equipment should be cleaned and serviced annually as maintenance.

## **GAS-FIRED OVEN AND RANGE**

**234:** - The gas-fired, oven and range was examined and operated at the controls and appears in serviceable condition at this time.

**235:** - The oven is not properly attached to the wall or cabinet. We recommend that it be secured using an 'anti-tip device' and/or attached according to the manufacturer's installation instructions.

## VENTILATION

**236:** - The kitchen is equipped with a ceiling vent opening. The vent is heavily grease-laden. This is a significant fire hazard. We recommend this be corrected this time by thoroughly cleaning or replacement.



## Unit 3202

### CEILING

**237:** - The ceiling is satisfactory.

**238:** - Repaired areas are noted at the ceiling. Consult the owner regarding the circumstances.

### WALLS

**239:** - The walls are satisfactory.

### FLOOR

**240:** - The vinyl floor is serviceable.

### COUNTERTOPS

**241:** - The countertop is satisfactory.

### CABINETS

**242:** - The cabinets appear serviceable at this time.

### WINDOWS

**243:** - Several windows don't operate properly. All windows should be detailed, including scraping excess paint build-up, cleaning, lubricating, and adjusting hardware where necessary.

**244:** - Sash cords are broken and windows do not operate properly as a result. Replacing these ropes is an involved procedure best done when the room is painted. We recommend great care when unlatching any windows with broken cords on the top sash.

## **DOORS**

**245:** - The north door rubs on the frame. We recommend it be planed or sanded for smoother operation.

## **ELECTRICAL**

**246:** - The electrical switches, lights and receptacles are serviceable at this time.

## **FIXTURES**

**247:** - The plumbing fixtures are serviceable.

## **SINK**

**248:** - The sink appears to be properly installed. When operated, it was observed to be fully functional and in serviceable condition.

## **GAS-FIRED OVEN AND RANGE**

**249:** - The gas-fired, oven and range was examined and operated at the controls and appears in serviceable condition at this time.

**250:** - The oven is not properly attached to the wall or cabinet. We recommend that it be secured using an 'anti-tip device' and/or attached according to the manufacturer's installation instructions.

## **VENTILATION**

**251:** - Kitchen ventilation is provided by a ceiling opening, venting to the exterior. The vent needs repair as it is obstructed.



## **MISCELLANEOUS**

**252:** - All other tested components were examined and appear serviceable at this time.

**253:** - The ironing board is incomplete.



## Unit 3204

### CEILING

**254:** - The ceiling is satisfactory.

### WALLS

**255:** - The walls are satisfactory.

### FLOOR

**256:** - The vinyl floor is serviceable.

### COUNTERTOPS

**257:** - The countertop is satisfactory.

### CABINETS

**258:** - The cabinets appear serviceable at this time.

### WINDOWS

**259:** - The windows are serviceable.

### DOORS

**260:** - The doors are serviceable.

### ELECTRICAL

**261:** - The electrical switches, lights and receptacles are serviceable at this time.

### FIXTURES

**262:** - The plumbing fixtures are serviceable.

## **SINK**

**263:** - The sink appears to be properly installed. When operated, it was observed to be fully functional and in serviceable condition.

## **DISPOSAL**

**264:** - The disposal was turned on with normal user controls and observed to be in satisfactory working condition.

## **GAS-FIRED OVEN AND RANGE**

**265:** - The gas-fired, oven and range was examined and operated at the controls and appears in serviceable condition at this time.

**266:** - The oven is not properly attached to the wall or cabinet. We recommend that it be secured using an 'anti-tip device' and/or attached according to the manufacturer's installation instructions.

## **VENTILATION**

**267:** - There is no exhaust fan in this kitchen. There is no requirement that a fan be installed, but depending on the style of cooking preferred, the lack of a fan could be an inconvenience.

## **Unit 3206**

### **CEILING**

**268:** - The ceiling is satisfactory.

### **WALLS**

**269:** - The walls are satisfactory.

### **FLOOR**

**270:** - The vinyl floor is serviceable.

### **COUNTERTOPS**

**271:** - The countertop is satisfactory.

### **CABINETS**

**272:** - The cabinets appear serviceable at this time.

### **WINDOWS**

**273:** - Two windows are stuck or have been painted shut and cannot be opened. We recommend repair to restore functional use.

### **DOORS**

**274:** - The door is serviceable.

**275:** - A door is missing at the pantry.

### **ELECTRICAL**

**276:** - The electrical switches, lights and receptacles are serviceable at this time.

### **FIXTURES**

**277:** - The plumbing fixtures are serviceable.

## **SINK**

**278:** - The sink appears to be properly installed. When operated, it was observed to be fully functional and in serviceable condition.

## **GAS-FIRED OVEN AND RANGE**

**279:** - The oven and range was examined and operated at the controls and appears in serviceable condition at this time. However it has been "Red Tagged" by the gas company. No obvious deficiencies were observed at the time of the inspection. Consult the owner and gas company regarding circumstances and have repairs have been made.



**280:** - The oven is not properly attached to the wall or cabinet. We recommend that it be secured using an 'anti-tip device' and/or attached according to the manufacturer's installation instructions.

## **VENTILATION**

**281:** - Kitchen ventilation is provided by a ceiling opening, venting to the exterior. The vent appears to be properly installed and in serviceable condition.

## **Bathroom**

*Bathrooms are visually inspected for proper function of components, active leakage, excessive or unusual wear and general state of repair. Fixtures are tested using normal operating features and controls. Due to finished surfaces such as drywall/plaster, tile, and flooring, much of the bathroom is considered inaccessible. We do not test or confirm proper application of secondary equipment including but not limited to steam units, spa tubs, heated towel bars, etc.*

### **Unit 3200**

#### **BATHROOM CEILING**

**282:** - The ceiling is satisfactory.

**283:** - Repaired areas are noted at the ceiling. The owner should be consulted regarding past water intrusion, damage and repairs.

### **INTERIOR WALLS**

**284:** - There are blemishes and finish repairs needed.



### **BATHROOM FLOOR**

**285:** - The tile floor is satisfactory.

### **COUNTERTOPS**

**286:** - The countertop is satisfactory.

### **WINDOWS**

**287:** - The window is serviceable.

### **DOORS**

**288:** - The door doesn't latch. We recommend minor adjustments to the hardware to restore proper function.

### **FIXTURES**

**289:** - The plumbing fixtures are serviceable.

## **BATHTUB**

**290:** - Caulking and/or grout repairs are needed at the bathtub rim.



**291:** - The spout at the bathtub needs repair or replacement as it leaks when in the shower mode.

## **TOILET**

**292:** - The base of the toilet is not caulked as needed.

**293:** - The toilet is a 1.28 gallon per flush unit.

## **LIGHTS**

**294:** - The switch and light fixture are serviceable.

## **RECEPTACLES**

**295:** - The receptacle is ungrounded. To comply with standards and to provide an increased margin of safety, we recommend it be properly grounded.

## **HEAT OUTLET**

**296:** - There is no heat source or conditioned air in this room.

## **Unit 3202**

### **BATHROOM CEILING**

**297:** - The ceiling is satisfactory.

### **INTERIOR WALLS**

**298:** - The walls appear satisfactory.

### **BATHROOM FLOOR**

**299:** - The finish floor in this bathroom is sheet vinyl.

## **COUNTERTOPS**

**300:** - The countertop is satisfactory.

## **CABINETS**

**301:** - The cabinet is serviceable.

## **GLASS ENCLOSURE**

**302:** - There is neither a curtain nor a glass enclosure at the shower. We recommend that the shower not be used until one or the other is installed.

## **WINDOWS**

**303:** - The window is stuck or has been painted shut and cannot be opened. We recommend repair to restore functional use.

## **DOORS**

**304:** - The door doesn't latch. We recommend minor adjustments to the hardware to restore proper function.

## **FIXTURES**

**305:** - The plumbing fixtures are serviceable.

## **TOILET**

**306:** - The toilet is a 1.28 gallon per flush unit.

## **LIGHTS**

**307:** - The switch and light fixture are serviceable.

## **RECEPTACLES**

**308:** - The receptacle is ungrounded. To comply with standards and to provide an increased margin of safety, we recommend it be properly grounded.

## **HEAT OUTLET**

**309:** - A heat source is not installed.

## **Unit 3204**

### **BATHROOM CEILING**

**310:** - The ceiling is satisfactory.

### **INTERIOR WALLS**

**311:** - The walls appear satisfactory.

### **BATHROOM FLOOR**

**312:** - The vinyl floor is satisfactory.

### **COUNTERTOPS**

**313:** - The countertop is satisfactory.

### **CABINETS**

**314:** - The cabinet is serviceable.

### **GLASS ENCLOSURE**

**315:** - There is neither a curtain nor a glass enclosure at the shower. We recommend that the shower not be used until one or the other is installed.

### **WINDOWS**

**316:** - The window is serviceable.

### **DOORS**

**317:** - The door is serviceable.

### **VENTILATION**

**318:** - Ventilation in this bathroom is provided by a exhaust fan. This fan was operated and was found to be working satisfactorily.

### **FIXTURES**

**319:** - The plumbing fixtures are serviceable.

### **TOILET**

**320:** - The toilet is a 1.28 gallon per flush unit.

### **ELECTRICAL**

**321:** - The electrical switches, lights and receptacle are serviceable.

### **HEAT OUTLET**

**322:** - A heat source is not installed.

## **Unit 3206**

### **BATHROOM CEILING**

**323:** - The ceiling is satisfactory.

### **INTERIOR WALLS**

**324:** - Because damage may extend into the inaccessible framing and associated members, the extent of concealed damage will not be known until repairs are in progress.

**325:** - Water damages observed at the east wall in bathtub. This appears to be a result of water from leaking from the bathtub and shower area.



#### **BATHROOM FLOOR**

**326:** - The vinyl floor is satisfactory.

#### **COUNTERTOPS**

**327:** - The countertop is satisfactory.

#### **CABINETS**

**328:** - The cabinet is serviceable.

#### **GLASS ENCLOSURE**

**329:** - There is neither a curtain nor a glass enclosure at the shower. We recommend that the shower not be used until one or the other is installed.

#### **WINDOWS**

**330:** - The window is stuck or has been painted shut and cannot be opened. We recommend repair to restore functional use.

#### **DOORS**

**331:** - The door is serviceable.

#### **FIXTURES**

**332:** - The plumbing fixtures are serviceable.

#### **WATER BASIN**

**333:** - The drain stop is missing. We recommend it be replaced.

## BATHTUB

**334:** - The bathtub is worn, suggesting its useful life is limited.



## SHOWER

**335:** - The shower head needs service as some of the ports are obstructed and it functions poorly.

## TOILET

**336:** - The toilet is a 1.28 gallon per flush unit.

## ELECTRICAL

**337:** - The electrical switch, lights and receptacle are serviceable.

## HEAT OUTLET

**338:** - A heat source is not installed.

# Plumbing

*A plumbing system consists of the domestic water supply lines, drain, waste and vent lines and gas lines. Inspection of the plumbing system is limited to visible faucets, fixtures, valves, drains, traps, exposed pipes and fittings. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint. A sewer lateral test, necessary to determine the condition of the underground sewer lines, is beyond the scope of this inspection. If desired, a qualified individual could be retained for such a test. Our review of the plumbing system does not include landscape watering, fire suppression systems, private water supply/waste disposal systems, or recalled plumbing supplies. Review of these systems requires a qualified and licensed specialist.*

## BASIC INFORMATION

**339:** - Domestic water source: Public supply

- 340:** - Main water line: Copper where viewed
- 341:** - Supply piping: Copper where viewed
- 342:** - Waste disposal: Municipal
- 343:** - Waste piping: ABS plastics, cast-iron and possibly clay materials.

#### **WATER SHUTOFF LOCATION**

- 344:** - The main water shut off is located at the North grounds.



#### **WATER SHUTOFF COMMENTS**

- 345:** - The main shut-off valve was located but testing the operation of this valve is not within the scope of our inspection. Operation of the valve from time to time will keep it functional and maximize its useful life.

#### **MAIN SUPPLY**

- 346:** - The viewed portions of the main supply pipes appear satisfactory.

#### **INTERIOR SUPPLY**

- 347:** - The exposed and accessible supply piping generally appears to be properly installed and in serviceable condition.
- 348:** - It appears that the majority if not all of the original galvanized pipes within the building is replaced with copper pipes. We are unable to determine the extent of the improvement and presence of copper plumbing. Consultation with the owner is recommended.

## **WATER PRESSURE**

**349:** - The water pressure is tested at 40 P.S.I. (80 P.S.I. or less is standard).



**350:** - The system water pressure, as measured at the exterior water heater and/or hose bibs, is low. We recommend that the pressure regulator valve be serviced and adjusted.

## **RELIEF VALVE**

**351:** - A relief valve is installed adjacent the main shut off valve.

## **DRAIN LINES**

**352:** - There is advanced deterioration, cracks and leakage at the exposed and accessible piping route the crawlspace. This is a potential health hazard. We recommend that these lines be replaced. See the foundation comments for further remarks and photos.

**353:** - There is cracked drain piping with active leakage at the {FillHere}. This is a potential health hazard. We recommend the piping in question be replaced.

**354:** - Based on conditions and concealed piping, we recommend a full camera review of the main line and waste piping system at this time by a qualified expert.

## **GAS METER LOCATION**

**355:** - The gas meter is in the crawl space. The location does not comply with current standards and is no longer a standard practice. However the condition may be permissible under the "Grandfather Clause". The main gas supply shutoff valve is located on the riser pipe between the ground and the meter. This valve should be turned 90 degrees (either way) in order to shut off the gas.



## **GAS METER COMMENT**

**356:** - The gas meter and shut off valve are serviceable.

**357:** - A seismic sensitive shut off valve is installed on the gas pipe systems. Check for permits.

## **GAS PIPING**

**358:** - The gas piping appears to be properly installed and in serviceable condition. We detected no evidence of leakage at any of the exposed gas piping. Pressure testing may reveal leaks, but this procedure is beyond the scope of our inspection.

**359:** - We are unable to determine if the added gas pipes and related systems are approved. Check permits.

**360:** - Portions of the gas piping are corroded and rusted. We recommend they be monitored and/or be replaced in the course of maintenance.

**361:** - There is no drip leg in place at the low point of the gas piping near the appliances. We suggest consideration be given to install drip legs to collect condensation and debris.

## **GENERAL COMMENT**

**362:** - We observed problems with the plumbing system as noted elsewhere in the report.

**363:** - There are newer, non-original plumbing items in this home. We suggest that you review all plans and permits.

**364:** - The plumbing systems within the crawlspace is not viewed completely due to obstructions and reduced clearances.

**365:** - For attention to the conditions noted, we recommend the advice and services of a licensed plumbing contractor. See the other category comments for further remarks concerning the plumbing system.

## Water Heater

*Our review of water heaters includes the tank, water and gas connections, electrical connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage and general state of repair. We do not fully review tankless/on-demand systems and suggest you consult a specialist. The hidden nature of piping and venting prevents inspection of every pipe, joint, vent and connection.*

### Tank

#### Unit 3200

#### **BASIC INFORMATION**

**366:** - Location: Kitchen

**367:** - Energy source: Natural gas

**368:** - Capacity: 28 gallons

**369:** - Age: 2 years old

**370:** - Unit type: Free standing tank

#### **GENERAL COMMENT**

**371:** - This is a newer water heater, was operating and with routine maintenance should be reliable for a number of years.

**372:** - This a non-original water heater. We recommend review of all documentation and permits.

#### **COMBUSTION AIR**

**373:** - The combustion air supply is adequate.

## VENTING

**374:** - The single wall vent materials are non-conforming. The condition may be permissible under the "Grandfather Clause". We recommend it be replaced during the time of replacement of the water heater to comply with current standards.



## GAS SUPPLY

**375:** - The gas piping for the appliance includes a local 90 degree shut-off valve for use in an emergency or in case of repair. The valve was not tested at the time of inspection, but is of a type usually found to be serviceable.

**376:** - The fuel piping does not include a 'T' extension to collect condensation and debris, as is considered good practice. In the course of future upgrading or repair, a 'drip leg' should be added to the gas piping just ahead of the connector.

## WATER CONNECTORS

**377:** - The cold water inlet and hot water outlet connections appear properly installed and in serviceable condition.

## SEISMIC RESTRAINT

**378:** - The water heater tank lacks seismic restraint, indicating installation without permits or inspection. We recommend that the water heater be secured to help limit damage and provide a source of usable water in the event of a major earthquake.

## T/P RELEASE VALVE

**379:** - The water heater is equipped with a temperature and pressure relief valve. This device is an important safety device and should not be altered or tampered with.

**380:** - The temperature and pressure relief valve discharge pipe is not routed to a approved location. The relief pipe currently terminates in the crawlspace. We recommend it be relocated in a conspicuous location in accordance to standards, to prevent water damage in the event of discharge.

**GENERAL COMMENT**

**381:** - A drain pan and drain line assembly which is standard is not installed below the appliance. Installation of drian pan system is recommended.

Unit 3202

**BASIC INFORMATION**

**382:** - Location: Kitchen



**383:** - Energy source: Natural gas

**384:** - Capacity: 40 gallons

**385:** - Age: 1 year old

**386:** - Unit type: Free standing tank

**387:** - Water heater temperature settings should be maintained in the mid-range to avoid injury from scalding

**GENERAL COMMENT**

**388:** - This is a newer water heater, was operating and with routine maintenance should be reliable for a number of years.

**389:** - This a non-original water heater. We recommend review of all documentation and permits.

**COMBUSTION AIR**

**390:** - The combustion air supply is adequate.

**VENTING**

**391:** - The water heater vent is properly installed and appears in serviceable condition.

### **GAS SUPPLY**

**392:** - The gas piping for the appliance includes a local 90 degree shut-off valve for use in an emergency or in case of repair. The valve was not tested at the time of inspection, but is of a type usually found to be serviceable.

### **WATER CONNECTORS**

**393:** - The cold water inlet and hot water outlet connections appear properly installed and in serviceable condition.

### **SEISMIC RESTRAINT**

**394:** - The water heater tank has been secured. This feature will help prevent water heater movement and possible gas leakage, limit damage and provide a source of usable domestic water in the event of a major earthquake.

### **T/P RELEASE VALVE**

**395:** - The water heater is equipped with a temperature and pressure relief valve. This device is an important safety device and should not be altered or tampered with.

**396:** - The temperature and pressure relief valve discharge pipe is not routed to a approved location has it terminates at a high location at the east exterior wall. We recommend it be relocated in a conspicuous location in accordance to standards, to prevent water damage in the event of discharge.



## Unit 3204

### BASIC INFORMATION

397: - Location: Kitchen



398: - Energy source: Natural gas

399: - Age: 1 year old

400: - Unit type: Free standing tank

401: - Water heater temperature settings should be maintained in the mid-range to avoid injury from scalding

### GENERAL COMMENT

402: - This is a newer water heater, was operating and with routine maintenance should be reliable for a number of years.

403: - This a non-original water heater. We recommend review of all documentation and permits.

### COMBUSTION AIR

404: - The combustion air supply is adequate.

### VENTING

405: - The water heater vent is properly installed and appears in serviceable condition.

### GAS SUPPLY

406: - The gas piping for the appliance includes a local 90 degree shut-off valve for use in an emergency or in case of repair. The valve was not tested at the time of inspection, but is of a type usually found to be serviceable.

### WATER CONNECTORS

407: - The cold water inlet and hot water outlet connections appear properly installed and in serviceable condition.

## SEISMIC RESTRAINT

**408:** - The water heater tank has been secured. This feature will help prevent water heater movement and possible gas leakage, limit damage and provide a source of usable domestic water in the event of a major earthquake.

## T/P RELEASE VALVE

**409:** - The water heater is equipped with a temperature and pressure relief valve. This device is an important safety device and should not be altered or tampered with.

**410:** - The temperature and pressure relief valve discharge pipe is not routed to an approved location. We recommend it be relocated in a conspicuous location in accordance to standards, to prevent water damage in the event of discharge.

## Unit 3206

## BASIC INFORMATION

**411:** - Location: Kitchen



**412:** - Energy source: Natural gas

**413:** - Capacity: 40 gallons

**414:** - Age: 1 year old

**415:** - Unit type: Free standing tank

**416:** - Water heater temperature settings should be maintained in the mid-range to avoid injury from scalding

## GENERAL COMMENT

**417:** - This is a newer water heater, was operating and with routine maintenance should be reliable for a number of years.

**418:** - This a non-original water heater. We recommend review of all documentation and permits.

## COMBUSTION AIR

**419:** - The combustion air supply is adequate.

## VENTING

**420:** - The water heater vent is installed too close to a combustibile surface. We recommend that approved clearance be provided. 1 inch clearance is standard.



## GAS SUPPLY

**421:** - The gas piping for the appliance includes a local 90 degree shut-off valve for use in an emergency or in case of repair. The valve was not tested at the time of inspection, but is of a type usually found to be serviceable.

## SEISMIC RESTRAINT

**422:** - The water heater tank has been secured. This feature will help prevent water heater movement and possible gas leakage, limit damage and provide a source of usable domestic water in the event of a major earthquake.

## T/P RELEASE VALVE

**423:** - The water heater is equipped with a temperature and pressure relief valve. This device is an important safety device and should not be altered or tampered with.

## GENERAL COMMENT

**424:** - A drain pan and drain line assembly which is standard is not installed below the appliance. Installation of drian pan system is recommended.

## Electrical System

*An electrical system consists of the service, distribution, wiring and convenience outlets (switches, lights, and receptacles). Our examination of the electrical system includes the exposed and accessible*

conductors, branch circuitry, panels, overcurrent protection devices, and a random sampling of convenience outlets. We look for adverse conditions such as improper installation, exposed wiring, running splices, reversed polarity and circuit protection devices. We do not evaluate fusing and/or calculate circuit loads. The hidden nature of the electrical wiring prevents inspection of every length of wire.

### **BASIC INFORMATION**

- 425:** - Service entry into building: Overhead service drop
- 426:** - Voltage supplied by utility: 120/240 volts
- 427:** - Capacity (available amperage): 60 amperes per unit
- 428:** - System grounding source: Water supply piping and driven copper rod
- 429:** - Branch circuit protection: Circuit breakers
- 430:** - Wiring material: Copper wiring where seen
- 431:** - Wiring method: 'Romex', flexible and rigid conduit where seen

### **METER & MAIN**

- 432:** - The meter and main electrical service panel are located at the South wall.



### **SERVICE DROP**

- 433:** - The service drop appears to be properly installed and in good condition.

### **CB MAIN PANEL**

- 434:** - The main service panel is in serviceable condition with circuitry installed and fused correctly.

### **SERVICE CAPACITY**

- 435:** - The service capacity is only marginally adequate for present demand. It is our opinion, with changes in patterns of use, the existing electrical service will be found inadequate. We recommend upgrading the electrical service.

436: - The 60 Amp service capacity appears to be sufficient for present demand, but is minimal and may require upgrading if demand is increased by remodeling and/or changes in patterns of use.

### SERVICE GROUNDING

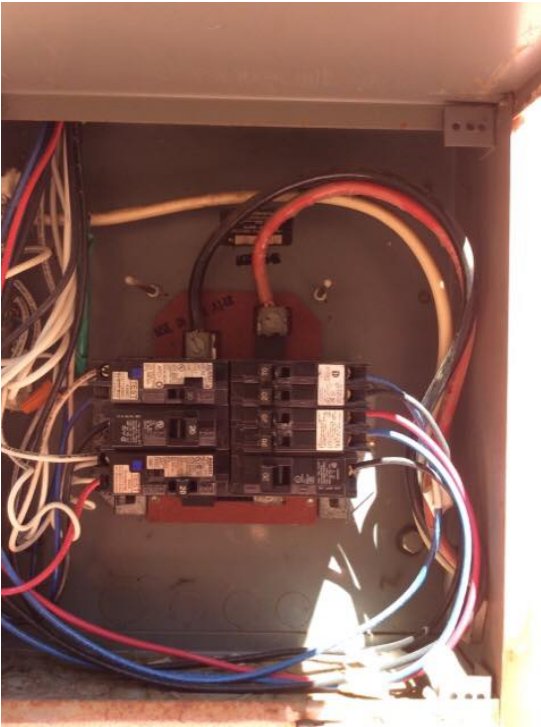
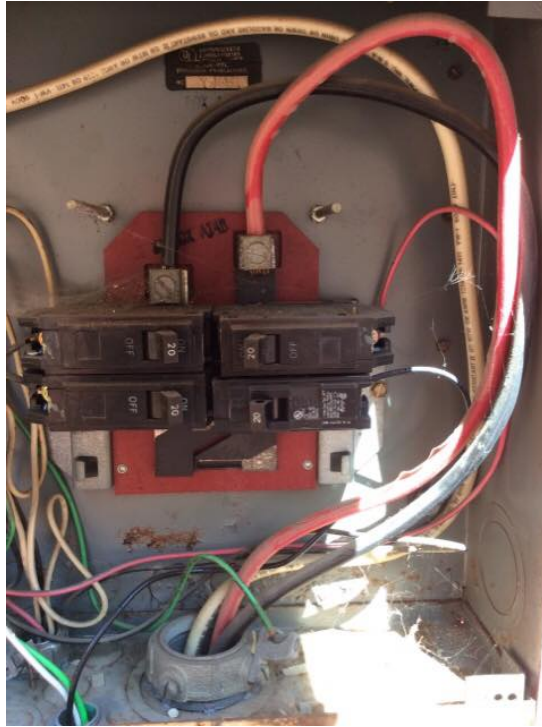
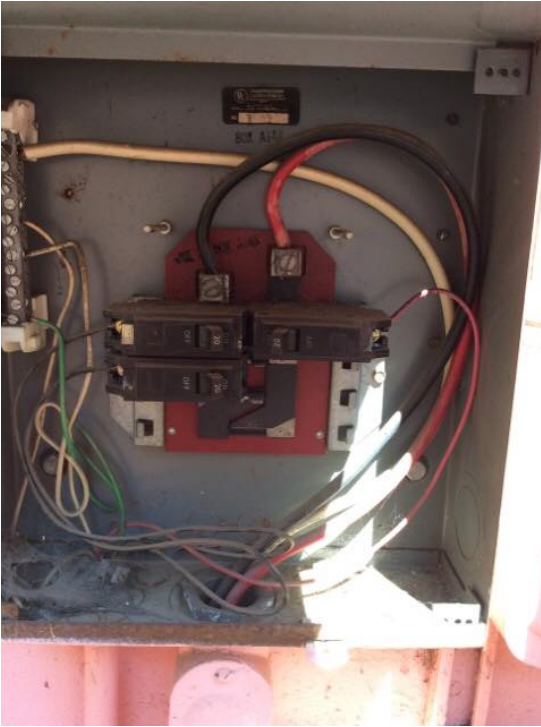
437: - The system and equipment grounding appears to be correct.

### BREAKER SUBPANEL

438: - Additional distribution panels, or subpanels, are located at the north wall



**439:** - The subpanels were opened and the inspected and circuitry was generally found to be installed and fused correctly, with exceptions noted below.



## **CIRCUITRY SUBPANEL**

**440:** - The neutrals and the grounds are bonded together in the subpanel. This is not a permitted configuration because of a possible failure of the grounding system. We recommend the neutrals and the grounds be separated.



## **BRANCH CIRCUITRY**

**441:** - The accessible branch circuitry was examined and appeared properly installed and in serviceable condition.

## **CONDUCTOR MATERIAL**

**442:** - The accessible branch circuit wiring in this building is copper where viewed.

## **SWITCHES: OVERALL**

**443:** - We checked a representative number of switches and found they were operating and in serviceable condition.

## **LIGHTS: OVERALL**

**444:** - The light fixtures in this building are generally in serviceable condition, with exceptions noted elsewhere in the report.

**445:** - The light fixtures on the outside walls of the structure were tested when possible. Testing the operation of the landscape lighting, including any low voltage lighting systems, is beyond the scope of this inspection.

## **RECEPTACLES: OVERALL**

**446:** - Based upon our inspection of a representative number, the receptacles were generally found to be in serviceable condition and operating properly, with exceptions noted elsewhere.

## **GFI PROTECTION**

**447:** - Some GFCI devices are installed where required. We recommend adding these devices at all locations currently requiring this protection. This includes all receptacles at kitchen counters, in bathrooms, garages, basements, crawl spaces, exterior near and near sinks. In addition, we recommend upgrading all older devices (pre-2007) with newer devices for safety.

## **AFCI PROTECTION**

**448:** - Arc fault protected circuits are not present which is a typical observation for homes of this age. Arc fault protection devices are an essential feature that could prevent fires in sleeping quarters and/or other rooms. Installation of arc fault circuits should be considered along with other upgrades to comply with current standards.

## **GENERAL COMMENT**

**449:** - The electrical system is generally in serviceable condition, with only a few instances of needed repair or correction observed. See the comments elsewhere in the report for further remarks.

**450:** - Review of all low voltage wiring, including telephone, TV antenna, alarm, intercom, and stereo wiring is not within the scope of our inspection. Consult the appropriate service technician for full evaluation of their operating conditions.

**451:** - The electrical system is upgraded. We are unable to determine the exact extent of the improvement due to obstructions and limited access. The owner should be consulted regarding the extent of the improvement, invoices and permits.

**452:** - For attention to the items noted, and for further evaluation of the electrical system in this structure, we recommend that you retain a licensed electrical contractor at this time for a further examination, recommendations and repair as needed.

## **Heating**

*A heating system consists of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing and inspection of heating systems is encouraged.*

## Wall Heater

Unit 3200

### BASIC INFORMATION

**453:** - Wall heater location: Living room



**454:** - Energy source: Natural gas

**455:** - Wall heater btu input rating: 14,000

**456:** - Manufacturer: Williams

**457:** - Age: 10 years old

### SYSTEM NOTES

**458:** - Wall heaters operate by heating a stream of air moving through the unit by 'gravity' or convection. There usually is no blower. Important elements include the heat exchanger, exhaust venting, controls, and clearances from combustible material.

**459:** - Wall heaters are simple and easily maintained, but do not distribute the heated air very efficiently. Although not required, installation of an alternate heating system might be considered in conjunction with other upgrades and/or remodeling.

**460:** - Because the nature of the moving air stream, wall heaters tend to rapidly collect dust, animal hair, etc. in the lower part of the unit. Regular vacuuming (with a special nozzle, if necessary) is very important for the furnace's safe operation.

### GAS SUPPLY

**461:** - The gas piping includes a 90 degree shutoff valve for emergency use. The valve was not tested at the time of inspection. This age and style of valve is normally found to be operable by hand and generally trouble free.

## **BURNERS**

**462:** - The burners were inspected and found to be clean and in good working order.

## **HEAT EXCHANGER**

**463:** - The heat exchanger was inaccessible and could not be visually examined.

## **VENT**

**464:** - The heating system vent is properly installed and appears in serviceable condition where seen.

## **COMBUSTION AIR**

**465:** - There is adequate combustion air for this heating unit.

## **THERMOSTAT**

**466:** - The thermostat appears to be properly installed and the unit responded to the user controls.

## **HVAC WIRING**

**467:** - All accessible wiring appears in good condition.

## **GENERAL COMMENT**

**468:** - The heating system responded to normal operating controls. Components appear properly installed and serviceable. Routine maintenance will keep it functional and maximize its service life.

**469:** - There are newer, non-original heating components in this home. We suggest that you review all plans and permits.

## **Unit 3206**

### **BASIC INFORMATION**

**470:** - Wall heater location: Living room



**471:** - Energy source: Natural gas

**472:** - Wall heater btu input rating: 14,000

**473:** - Manufacturer: Williams

**474:** - Age: 10 years old

### **SYSTEM NOTES**

**475:** - Wall heaters operate by heating a stream of air moving through the unit by 'gravity' or convection. There usually is no blower. Important elements include the heat exchanger, exhaust venting, controls, and clearances from combustible material.

**476:** - Wall heaters are simple and easily maintained, but do not distribute the heated air very efficiently. Although not required, installation of an alternate heating system might be considered in conjunction with other upgrades and/or remodeling.

**477:** - Because the nature of the moving air stream, wall heaters tend to rapidly collect dust, animal hair, etc. in the lower part of the unit. Regular vacuuming (with a special nozzle, if necessary) is very important for the furnace's safe operation.

### **GAS SUPPLY**

**478:** - The gas piping includes a 90 degree shutoff valve for emergency use. The valve was not tested at the time of inspection. This age and style of valve is normally found to be operable by hand and generally trouble free.

### **VENT**

**479:** - The heating system vent is properly installed and appears in serviceable condition where seen.

### **COMBUSTION AIR**

**480:** - There is adequate combustion air for this heating unit.

### **THERMOSTAT**

**481:** - The thermostat appears to be properly installed and the unit responded to the user controls.

### **HVAC WIRING**

**482:** - Unsecured wiring was noted at the thermostat. We recommend that it be secured in accordance with present standards.

### **GENERAL COMMENT**

**483:** - The heating unit's energy source was shut off and the system was not operational. We cannot offer opinions about system performance or general state of repair. We recommend inspection when service has been restored.

**484:** - There are newer, non-original heating components in this home. We suggest that you review all plans and permits.

**485:** - For attention to the items noted above, we recommend a licensed heating contractor be retained for evaluation and a determination of the necessary corrective measures.

## Heat Pump

Unit 3202

### BASIC INFORMATION

**486:** - Location of heat pump: Living room



**487:** - Installation: Split

**488:** - Energy source: Electricity

**489:** - Age: Not determined

**490:** - Manufacturer: Mitsubishi

### SYSTEM NOTES

**491:** - Heat pumps are air conditioners designed to operate 'in either direction'. When heating, air is cooled and exhausted to the outside, while the 'waste' heat is distributed through the living space by a blower and ducts.

### AIR FILTERS

**492:** - The air filter for the heating unit is a conventional, washable filter. Regular maintenance is advised.

### HVAC WIRING

**493:** - All accessible wiring appears in good condition.

### GENERAL COMMENT

**494:** - The system is an addition. Consult the owner regarding invoices and permits.

**495:** - The heating system failed to respond to normal operating controls. We recommend a qualified contractor be retained to evaluate the system and determine what corrective measures are necessary.

**496:** - See the "air-conditioning" comments for shared remarks concerning the split system.

**497:** - For attention to the items noted above, we recommend a licensed heating contractor be retained for evaluation and a determination of the necessary corrective measures.

## Unit 3204

### BASIC INFORMATION

**498:** - Location of heat pump: Living room



**499:** - Installation: Split

**500:** - Energy source: Electricity

**501:** - Age: Not determined

**502:** - Manufacturer: Mitsubishi

### SYSTEM NOTES

**503:** - Heat pumps are air conditioners designed to operate 'in either direction'. When heating, air is cooled and exhausted to the outside, while the 'waste' heat is distributed through the living space by a blower and ducts.

### AIR FILTERS

**504:** - The air filter for the heating unit is a conventional, washable filter. Regular maintenance is advised.

### THERMOSTAT

**505:** - The thermostat appears to be properly installed and the unit responded to the user controls.

### GENERAL COMMENT

**506:** - The system is an addition. Consult the owner regarding invoices and permits.

**507:** - The system was examined and operated at the controls and appears in satisfactory operating condition at this time (5 to 10 minute limited testing). The owner should be consulted regarding the operating characteristics and maintenance history of the system.

**508:** - See the "air-conditioning" comments for shared remarks concerning the split system.

**509:** - For attention to the items noted above, we recommend a licensed heating contractor be retained for evaluation and a determination of the necessary corrective measures.

## Air Conditioning

*An air conditioning system consists of the cooling equipment operating and safety controls and a means of distribution. These items are visually examined for proper function, excessive or unusual wear, and general state of repair. Air conditioning systems are not tested if the outside temperature is too cold for proper operation. Detailed testing of the components of the cooling equipment or predicting their life expectancy requires special equipment and training and is beyond the scope of this inspection. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing and inspection of air conditioning equipment is encouraged.*

### Unit 3202

#### BASIC INFORMATION

**510:** - Method of cooling: Gas compression

**511:** - Number of units: 1

**512:** - Type of system(s): Split

**513:** - Age: Not determined

**514:** - Manufacturer: Mitsubishi

**515:** - Condenser location: East grounds



**516:** - Electrical disconnect location: Adjacent to condensing unit

#### CONDENSING UNIT

**517:** - The condensing unit appears to be properly installed and in serviceable condition.

## REFRIGERANT LINES

**518:** - The accessible refrigerant lines appear to be in good condition.

**519:** - The gap at the base of the metal chase should be sealed to prevent the intrusion of rodents into the home.



## HVAC WIRING

**520:** - All accessible wiring appears in good condition.

## GENERAL COMMENT

**521:** - There are newer, non-original air conditioning components in this home. We suggest that you review all plans and permits.

**522:** - The air conditioning unit failed to respond to normal operating controls. We recommend this unit be evaluated by a licensed air conditioning contractor and repaired as necessary.

**523:** - See the heating system comments for shared remarks concerning the split system.

**524:** - For further evaluation and/or attention to the condition(s) noted, we recommend the advice and services of a licensed air conditioning contractor.

## Unit 3204

### BASIC INFORMATION

**525:** - Method of cooling: Gas compression

**526:** - Number of units: 1

**527:** - Type of system(s): Split

**528:** - Age: Not determined

**529:** - Manufacturer: Mitsubishi

**530:** - Condenser(s) location: West grounds



**531:** - Electrical disconnect location: Adjacent to condensing unit

#### **CONDENSING UNIT**

**532:** - The condensing unit appears to be properly installed and in serviceable condition.

#### **REFRIGERANT LINES**

**533:** - The accessible refrigerant lines appear to be in good condition.

**534:** - The gap at the base of the metal chase should be sealed to prevent the intrusion of rodents into the home.



#### **THERMOSTAT**

**535:** - The thermostat appears to be properly installed and the unit responded to the user controls.

#### **HVAC WIRING**

**536:** - All accessible wiring appears in good condition.

#### **GENERAL COMMENT**

**537:** - There are newer, non-original air conditioning components in this home. We suggest that you review all plans and permits.

**538:** - The system was examined and operated at the control and appears in serviceable condition at this time.

**539:** - The owner should be consulted regarding the operating characteristics, maintenance and repair history of the systems.

**540:** - See the heating system comments for shared remarks concerning the split system.

## **Conclusion**

#### **COMMENTS**

**541:** - There are a number of defects and deferred maintenance items in this property. We recommend that you obtain repair estimates from competent specialists as an aid in planning your future course of action.

**542:** - Most of the items that are in need of immediate attention and/or possible major cost items that would require repair in the near future are listed in the Summary. Please be sure to refer to this document for further useful information. We recommend that you obtain repair estimates from competent specialists as an aid in planning your future course of action.

## Locations of Emergency Controls

In an emergency, you may need to know where to shut off the gas, the water and/or the electrical system. We have listed below these controls and their location for your convenience. We urge that you familiarize yourself with their location and operation.

### **WATER SHUTOFF LOCATION**

#### **PLUMBING**

**1:** - The main water shut off is located at the North grounds.



## **GAS METER LOCATION**

### **PLUMBING**

2: - The gas meter is in the crawl space. The location does not comply with current standards and is no longer a standard practice. However the condition may be permissible under the "Grandfather Clause". The main gas supply shutoff valve is located on the riser pipe between the ground and the meter. This valve should be turned 90 degrees (either way) in order to shut off the gas.



**METER & MAIN  
ELECTRICAL SYSTEM**

**3:** - The meter and main electrical service panel are located at the South wall.



## Environmental Concerns

Environmental issues include but are not limited to radon, fungi/mold, asbestos, lead paint, lead contamination, toxic waste, formaldehyde, electromagnetic radiation, buried fuel oil tanks, ground water contamination and soil contamination. We are not trained or licensed to recognize or discuss any of these materials. We may make reference to one of more of these materials in this report when we recognize one of the common forms of these substances. If further study or analysis seems prudent, the advice and services of the appropriate specialists are advised.

## Summary

This is a summary review of the inspector's findings during this inspection. However, it does not contain every detailed observation. This is provided as an additional service to our client, and is presented in the form of a listing of the items which, in the opinion of your inspector, merit further attention, investigation, or improvement. Some of these conditions are of such a nature as to require repair or modification by a skilled craftsman, technician, or specialist. Others can be easily handled by a homeowner such as yourself.

Often, following the inspector's advice will result in improved performance and/or extended life of the component(s) in question. In listing these items, your inspector is not offering any opinion as to who, among the parties to this transaction, should take responsibility for addressing any of these concerns. As with most of the facets of your transaction, we recommend consultation with your Real Estate Professional for further advice with regards to the following items:

## Roofing

### Built-up Roof System

#### **SURFACE (BUILT-UP)**

**s-32:** - The two small sections of tile roofing at the north wall are in poor condition. Cracked, loose and damaged tiles are observed. Repair replacement is needed.

## Attic

#### **ACCESS/ENTRY**

**s-43:** - Due to limited clearances, only a partial inspection of the attic space was performed from the access opening.

**s-44:** - The attic access opening is a nonconforming size. The small opening makes it difficult to access the attic area. We recommend installing a larger opening.

#### **ROOF FRAMING**

**s-46:** - The viewed portions of the attic and roof structure above the ceiling joists appears to have been completely rebuilt. The reconstruction we were informed was precipitated by a fire. We recommend consulting the owner and the local Department of Building and Safety regarding the circumstances, invoices and permits.

#### **PEST CONTROL**

**s-50:** - We observed a unusual amount of bird droppings and nesting materials throughout the attic floor (approximately 2 to 4 inches high in areas). This is a significance health/safety concern. Additionally there is an additional load concern on the ceiling structure above the interior living space. We recommend a specialized contractor who is familiar with this issue be consulted at this time for further examination, recommendations and removal of the droppings and debris. The vents should be screened to limit future habitation.

#### **VENTILATION**

**s-53:** - Vent screens at the north wall are damaged and or torn, allowing entry by insects, birds, or animals. We recommend they be repaired or replaced.

## **MISCELLANEOUS**

**s-54:** - There are conditions indicating a past building fire. The owner or the local building department may have further information on the cause and extent of the fire, any repairs performed and the status of permits involved in such work.

**s-55:** - We were unable to completely view all areas of the attic due to reduced clearances, obstructions and unhealthy conditions.

## **Building Exterior/Grounds**

### **DOWNSPOUTS**

**s-63:** - The downspouts that terminate within the planters and adjacent the foundation walls is substandard. It is recommended that the downspouts be extended for improved area drainage.

### **GRADING**

**s-64:** - Grading is flat or sloped toward the structure in some areas. Low spots and negative grading promote water accumulation near the building, leading to foundation problems. Regrading is recommended to ensure that surface water flows away from the structure.

**s-65:** - There is evidence that this is a 'cut and fill' site. We noted areas of concern. We are unqualified to analyze soil conditions or recommend action. We feel it would be prudent to locate and review soils reports, construction records, permits, etc. that would document the history of this site. We recommend further geological evaluation and/or engineering by qualified personnel.

**s-66:** - There is evidence of soil instability around this building site. We are unqualified to analyze soil conditions or recommend action. We recommend further evaluation and engineering by qualified personnel.

**s-67:** - For attention to the condition(s) noted above, and/or cost estimates, if necessary, we recommend the advice and services of a licensed geotechnical engineer.

### **DRAINAGE**

**s-69:** - It is our opinion that the existing surface drainage is insufficient. It is also noted that the drainage for the adjacent building directed towards the subject building. We recommend that upgrades to the sites drainage be undertaken.

**s-70:** - Evidence of water pooling at the grounds is observed. Improvement to the site drainage is recommended. See the comments elsewhere in the report for remarks regarding drainage.

**s-71:** - Due to the nature of the property a geological inspection should be performed. We recommend that the seller be consulted to determine if they are aware of any foundation, soil or drainage problems in the area or at the subject property.

**s-72:** - For attention to the condition(s) noted elsewhere, and/or cost estimates, if necessary, we recommend the advice and services of a licensed landscaping or drainage contractor.

### **STUCCO**

**s-74:** - There is cracked stucco indicating movement at the foundation. These surfaces can be patched, but if movement in the structure is not addressed, the cracks may return and/or become more noticeable.

**s-75:** - Portions of the exterior appear recently painted. Numerous cracks and repaired areas are noted at the stucco throughout the building. As with any recently refinished and freshly painted surface, the stucco may have conditions present that were not readily apparent at the time of our inspection. We do not suggest that this inspection has identified all such conditions.

## **DECK**

**s-94:** - It is our opinion that the decking material used for this installation is of poor quality. The large knots and uneven surfaces are a tripping hazard and the rough surfaces are easily splintered and would be a hazard to bare feet.

## **WALLS AND FENCES**

**s-99:** - Retaining walls, yard walls, fences and gates are not within the scope of the inspection. However some comments are given as a courtesy and for a better understanding of the property. The fences and gates generally appear serviceable at this time. Sections of the walls throughout the grounds are cracked and displaced. The source/significance is not determined. Soil build up from apparent surface erosion is also noted at some of the walls. Bricks have been loosely placed above some of the walls. Consult the owner regarding the circumstances.

# **Foundation/Crawl Space/Basement**

## **FOUNDATION**

**s-111:** - The foundation walls have a surface scaling known as 'spalling', which can result from deterioration of old, weak concrete or from a moisture reaction known as 'sulfating'. We find the concrete still serviceable but we recommend monitoring.

**s-113:** - Approximately 4-6 expansive cracks and significant displacement is observed at the concrete stem walls. The source/significance is not determined. The need for significant repairs or replacement of the damaged portions of the foundation stemwall should be anticipated. See the comments elsewhere in the report regarding the walls and framing.

**s-117:** - Portions of the foundation is failing due to age, original quality concrete and water/drainage related issues. Deterioration will increase and accelerate over time if the causes are not addressed. While the foundation may function for the near term in its present condition, repair or replacements must be anticipated.

## **WALL FRAMING**

**s-121:** - The wall framing near at the east side near the access opening is displaced and damaged due to movement of the underlying foundation wall. A previous substandard repair attempt has been made. The repair appears ineffective and has failed. Changes in use or other conditions could lead to additional damage or failure. We recommend the framing be repaired or replaced in accordance with present standards.

## **SUBFLOORING**

**s-122:** - Generally, the subflooring is in serviceable condition. However, the subfloor beneath the kitchens and bathrooms plumbing systems is degraded and damaged. Approximately 5 to 7 active leaks are noted at the drain line systems in the crawlspace. We recommend the subflooring be repaired and all damaged material replaced. A termite inspector should be consulted for a further examination, recommendations and repair.

## **BEAMS**

**s-125:** - Several beams at the east region no longer bearing due to displacement of the foundation wall to the point that they are no longer load bearing. We recommend repair or replacement in accordance with present standards.

## **ANCHOR BOLTS**

**s-131:** - There are no visible anchor bolts. We recommend the mudsills be anchored at regular intervals to the foundation, in accordance with present standards.

## **VENTILATION**

**s-136:** - Several crawl space vent screens are damaged or incomplete. We recommend they be repaired or replaced to prevent access by rodents or other pests.

## **MOISTURE**

**s-137:** - There is evidence of past moisture entry and periodic accumulation of water in the crawl space. Minor pockets of water are not unusual. In most cases, minor water entry is not a concern provided the crawl space has adequate clearance and venting.

**s-139:** - To keep the moisture infiltration to a minimum, we recommend that all surface drainage, including water from the downspouts, be directed as far away from the building as possible. Watering landscaping should be minimized and controlled.

## **DRAIN LINES**

**s-143:** - There is surface deterioration, cracks and leakage at the exposed and accessible piping. We recommend that these lines be repaired or replaced.

## **GENERAL COMMENT**

**s-148:** - The conditions observed and noted are considered significant and may effect the performance of the foundation and/or the support system of this building.

**s-149:** - We recommend an engineer be retained to evaluate the building and determine what corrective measures are necessary.

**s-150:** - We recommend a foundation expert and/or engineer be retained at this time to evaluate the building and determine what corrective measures are necessary as we are not fully qualified in this field.

# **Living Room**

## **Unit 3200**

### **WALLS**

**s-184:** - There is water staining, however no sign of active leakage was detected. If additional staining develops, the source of leakage should be identified and necessary repairs performed. Prepare and refinish the surface to restore its appearance.

## **Unit 3204**

### **WINDOWS**

**s-207:** - The northwest window is not equipped with drip flashings and leaks. We recommend it be repaired or replaced.

## Unit 3206

### MISCELLANEOUS

**s-220:** - The flexible gas line entering the floor is substandard. We recommend it be repaired in accordance to standards.

## Kitchen

### Unit 3200

#### VENTILATION

**s-236:** - The kitchen is equipped with a ceiling vent opening. The vent is heavily grease-laden. This is a significant fire hazard. We recommend this be corrected this time by thoroughly cleaning or replacement.

### Unit 3206

#### GAS-FIRED OVEN AND RANGE

**s-279:** - The oven and range was examined and operated at the controls and appears in serviceable condition at this time. However it has been "Red Tagged" by the gas company. No obvious deficiencies were observed at the time of the inspection. Consult the owner and gas company regarding circumstances and have repairs have been made.

## Bathroom

### Unit 3200

#### BATHTUB

**s-290:** - Caulking and/or grout repairs are needed at the bathtub rim.

#### RECEPTACLES

**s-295:** - The receptacle is ungrounded. To comply with standards and to provide an increased margin of safety, we recommend it be properly grounded.

### Unit 3202

#### RECEPTACLES

**s-308:** - The receptacle is ungrounded. To comply with standards and to provide an increased margin of safety, we recommend it be properly grounded.

### Unit 3206

#### INTERIOR WALLS

**s-325:** - Water damages observed at the east wall in bathtub. This appears to be a result of water from leaking from the bathtub and shower area.

# Plumbing

## WATER PRESSURE

**s-349:** - The water pressure is tested at 40 P.S.I. (80 P.S.I. or less is standard).

**s-350:** - The system water pressure, as measured at the exterior water heater and/or hose bibs, is low. We recommend that the pressure regulator valve be serviced and adjusted.

## DRAIN LINES

**s-352:** - There is advanced deterioration, cracks and leakage at the exposed and accessible piping route the crawlspace. This is a potential health hazard. We recommend that these lines be replaced. See the foundation comments for further remarks and photos.

## GENERAL COMMENT

**s-362:** - We observed problems with the plumbing system as noted elsewhere in the report.

**s-365:** - For attention to the conditions noted, we recommend the advice and services of a licensed plumbing contractor. See the other category comments for further remarks concerning the plumbing system.

# Water Heater

## Tank

### Unit 3200

#### SEISMIC RESTRAINT

**s-378:** - The water heater tank lacks seismic restraint, indicating installation without permits or inspection. We recommend that the water heater be secured to help limit damage and provide a source of usable water in the event of a major earthquake.

### Unit 3202

#### T/P RELEASE VALVE

**s-396:** - The temperature and pressure relief valve discharge pipe is not routed to a approved location has it terminates at a high location at the east exterior wall. We recommend it be relocated in a conspicuous location in accordance to standards, to prevent water damage in the event of discharge.

### Unit 3206

#### VENTING

**s-420:** - The water heater vent is installed too close to a combustible surface. We recommend that approved clearance be provided. 1 inch clearance is standard.

## Electrical System

### CIRCUITRY SUBPANEL

**s-440:** - The neutrals and the grounds are bonded together in the subpanel. This is not a permitted configuration because of a possible failure of the grounding system. We recommend the neutrals and the grounds be separated.

## Heating

### Wall Heater

#### Unit 3206

### GENERAL COMMENT

**s-483:** - The heating unit's energy source was shut off and the system was not operational. We cannot offer opinions about system performance or general state of repair. We recommend inspection when service has been restored.

### Heat Pump

#### Unit 3202

### GENERAL COMMENT

**s-495:** - The heating system failed to respond to normal operating controls. We recommend a qualified contractor be retained to evaluate the system and determine what corrective measures are necessary.

## Air Conditioning

### Unit 3202

### GENERAL COMMENT

**s-522:** - The air conditioning unit failed to respond to normal operating controls. We recommend this unit be evaluated by a licensed air conditioning contractor and repaired as necessary.

**s-524:** - For further evaluation and/or attention to the condition(s) noted, we recommend the advice and services of a licensed air conditioning contractor.



## CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

1000 Q Street, Suite 203

Sacramento, California 95811-6518

Tel: (916) 446-5277 (800) 848-7342 Fax: (916) 443-6719

www.CREIA.org

# STANDARDS OF PRACTICE

## RESIDENTIAL STANDARDS – FOUR OR FEWER UNITS

Originally Adopted September 13, 1983

Revised November 1, 1996

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### Part I. Definitions and Scope

These Standards of Practice provide guidelines for a *real estate inspection* and define certain terms relating to these *inspections*. Italicized words in these Standards are defined in Part IV, Glossary of Terms.

- A. A *real estate inspection* is a survey and basic *operation* of the *systems* and *components* of a *building* which can be reached, entered, or viewed without

difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the *Inspector*. The purpose of the *inspection* is to provide the Client with information regarding the general *condition* of the *building(s)*. Cosmetic and aesthetic *conditions* shall not be considered.

- B. A *real estate inspection* report provides written documentation of material defects discovered in the *inspected building's systems and components* which, in the opinion of the *Inspector*, are *safety hazards*, are not *functioning* properly, or appear to be at the ends of their service lives. The report may include the *Inspector's* recommendations for correction or further evaluation.
- C. *Inspections* performed in accordance with these Standards of Practice are not *technically exhaustive* and shall apply to the *primary building* and its associated *primary parking structure*.

## Part II. Standards of Practice

A *real estate inspection* includes the *readily accessible systems and components* or a *representative number* of multiple similar *components* listed in Sections 1 through 9 subject to the limitations, exceptions, and exclusions in Part III.

### SECTION 1 – Foundation, Basement, and Under-floor Areas

- A. Items to be *inspected*:
  1. Foundation *system*
  2. Floor framing *system*
  3. Under-floor ventilation
  4. Foundation anchoring and cripple wall bracing
  5. Wood separation from soil
  6. Insulation
- B. The *Inspector* is not required to:
  1. *Determine* size, spacing, location, or adequacy of foundation bolting/bracing *components* or reinforcing *systems*
  2. *Determine* the composition or energy rating of insulation materials

### SECTION 2 – Exterior

- A. Items to be *inspected*:
  1. Surface grade directly adjacent to the *buildings*
  2. Doors and windows
  3. Attached decks, porches, patios, balconies, stairways and their enclosures, handrails, and guardrails
  4. Wall cladding and trim
  5. Portions of walkways and driveways that are adjacent to the *buildings*

- B. The *Inspector* is not required to:
1. *Inspect* door or window screens, shutters, awnings, or security bars
  2. *Inspect* fences or gates or *operate* automated door or gate openers or their safety devices
  3. Use a ladder to *inspect systems* or *components*

### **SECTION 3 – Roof Covering**

- A. Items to be *inspected*:
1. Covering
  2. Drainage
  3. Flashings
  4. Penetrations
  5. Skylights
- B. The *Inspector* is not required to:
1. Walk on the roof surface if in the opinion of the *Inspector* there is risk of damage or a *hazard* to the *Inspector*
  2. Warrant or certify that roof *systems*, coverings, or *components* are free from leakage

### **SECTION 4 – Attic Areas and Roof Framing**

- A. Items to be *inspected*:
1. Framing
  2. Ventilation
  3. Insulation
- B. The *Inspector* is not required to:
1. *Inspect* mechanical attic ventilation *systems* or *components*
  2. *Determine* the composition or energy rating of insulation materials

### **SECTION 5 – Plumbing**

- A. Items to be *inspected*:
1. Water supply piping
  2. Drain, waste, and vent piping
  3. Faucets and *fixtures*
  4. Fuel gas piping
  5. Water heaters
  6. *Functional flow* and *functional drainage*
- B. The *Inspector* is not required to:
1. Fill any *fixture* with water, *inspect* overflow drains or drain-stops, or evaluate backflow devices or drain line cleanouts

2. *Inspect* or evaluate water temperature balancing *devices*, temperature fluctuation, time to obtain hot water, water circulation, or solar heating *systems* or *components*
3. *Inspect* whirlpool baths, steam showers, or sauna *systems* or *components*
4. *Inspect* fuel tanks or *determine* if the fuel gas *system* is free of leaks
5. *Inspect* wells or water treatment *systems*

## **SECTION 6 – Electrical**

- A. Items to be *inspected*:
  1. Service equipment
  2. Electrical panels
  3. Circuit wiring
  4. Switches, receptacles, outlets, and lighting *fixtures*
- B. The *Inspector* is not required to:
  1. *Operate* circuit breakers or circuit interrupters
  2. Remove cover plates
  3. *Inspect* de-icing *systems* or *components*
  4. *Inspect* private or emergency electrical supply *systems* or *components*

## **SECTION 7 – Heating and Cooling**

- A. Items to be *inspected*:
  1. Heating equipment
  2. Central cooling equipment
  3. Energy source and connections
  4. Combustion air and exhaust vent *systems*
  5. Condensate drainage
  6. Conditioned air distribution *systems*
- B. The *Inspector* is not required to:
  1. *Inspect* heat exchangers or electric heating elements
  2. *Inspect* non-central air conditioning units or evaporative coolers
  3. *Inspect* radiant, solar, hydronic, or geothermal *systems* or *components*
  4. *Determine* volume, uniformity, temperature, airflow, balance, or leakage of any air distribution *system*
  5. *Inspect* electronic air filtering or humidity control *systems* or *components*

## **SECTION 8 – Fireplaces and Chimneys**

- A. Items to be *inspected*:
  1. Chimney exterior
  2. Spark arrestor
  3. Firebox
  4. Damper
  5. Hearth extension

- B. The *Inspector* is not required to:
  - 1. *Inspect* chimney interiors
  - 2. *Inspect* fireplace inserts, seals, or gaskets
  - 3. *Operate* any fireplace or *determine* if a fireplace can be safely used

## **SECTION 9 – *Building Interior***

- A. Items to be *inspected*:
  - 1. Walls, ceilings, and floors
  - 2. Doors and windows
  - 3. Stairways, handrails, and guardrails
  - 4. *Permanently installed* cabinets
  - 5. *Permanently installed* cook-tops, mechanical range vents, ovens, dishwashers, and food waste disposals
  - 6. Absence of smoke and carbon monoxide alarms
  - 7. Vehicle doors and openers
- B. The *Inspector* is not required to:
  - 1. *Inspect* window, door, or floor coverings
  - 2. *Determine* whether a *building* is secure from unauthorized entry
  - 3. *Operate*, test, or determine the type of smoke or carbon monoxide alarms or test vehicle door safety *devices*
  - 4. Use a ladder to *inspect systems* or *components*

## **Part III. Limitations, Exceptions, and Exclusions**

- A. The following are excluded from a *real estate inspection*:
  - 1. *Systems* or *components* of a *building*, or portions thereof, which are not *readily accessible*, not *permanently installed*, or not *inspected* due to circumstances beyond the control of the *Inspector* or which the Client has agreed or specified are not to be *inspected*
  - 2. Site improvements or amenities, including, but not limited to; accessory buildings, fences, planters, landscaping, irrigation, swimming pools, spas, ponds, waterfalls, fountains or their *components* or accessories
  - 3. Auxiliary features of *appliances* beyond the *appliance's* basic *function*
  - 4. *Systems* or *components*, or portions thereof, which are under ground, under water, or where the *Inspector* must come into contact with water
  - 5. Common areas as defined in California Civil Code section 1351, et seq., and any dwelling unit *systems* or *components* located in common areas
  - 6. *Determining* compliance with manufacturers' installation guidelines or specifications, building codes, accessibility standards, conservation or energy standards, regulations, ordinances, covenants, or other restrictions

7. *Determining* adequacy, efficiency, suitability, quality, age, or remaining life of any *building, system, or component*, or marketability or advisability of purchase
8. Structural, architectural, geological, environmental, hydrological, land surveying, or soils-related examinations
9. Acoustical or other nuisance characteristics of any *system* or *component* of a *building*, complex, adjoining property, or neighborhood
10. Conditions related to animals, insects, or other organisms, including fungus and mold, and any hazardous, illegal, or controlled substance, or the damage or health risks arising there from
11. Risks associated with events or conditions of nature including, but not limited to; geological, seismic, wildfire, and flood
12. Water testing any *building, system, or component* or *determine* leakage in shower pans, pools, spas, or any body of water
13. *Determining* the integrity of hermetic seals at multi-pane glazing
14. Differentiating between original construction or subsequent additions or modifications
15. Reviewing information from any third-party, including but not limited to; product defects, recalls, or similar notices
16. Specifying repairs/replacement procedures or estimating cost to correct
17. Communication, computer, security, or low-voltage *systems* and remote, timer, sensor, or similarly controlled *systems* or *components*
18. Fire extinguishing and suppression *systems* and *components* or *determining* fire resistive qualities of materials or assemblies
19. Elevators, lifts, and dumbwaiters
20. Lighting pilot lights or activating or *operating* any *system, component, or appliance* that is *shut down*, unsafe to *operate*, or does not respond to *normal user controls*
21. *Operating* shutoff valves or *shutting down* any *system* or *component*
22. Dismantling any *system, structure, or component* or removing access panels other than those provided for homeowner maintenance

B. The *Inspector* may, at his or her discretion:

1. *Inspect* any *building, system, component, appliance*, or improvement not included or otherwise excluded by these Standards of Practice. Any such *inspection* shall comply with all other provisions of these Standards.
2. Include photographs in the written report or take photographs for *Inspector's* reference without inclusion in the written report. Photographs may not be used in lieu of written documentation.

## IV. Glossary of Terms

\*Note: All definitions apply to derivatives of these terms when italicized in the text.

**Appliance:** An item such as an oven, dishwasher, heater, etc. which performs a specific *function*

**Building:** The subject of the *inspection* and its *primary parking structure*

**Component:** A part of a *system, appliance, fixture, or device*

**Condition:** Conspicuous state of being

**Determine:** Arrive at an opinion or conclusion pursuant to a *real estate inspection*

**Device:** A *component* designed to perform a particular task or *function*

**Fixture:** A plumbing or electrical *component* with a fixed position and *function*

**Function:** The normal and characteristic purpose or action of a *system, component, or device*

**Functional Drainage:** The ability to empty a plumbing *fixture* in a reasonable time

**Functional Flow:** The flow of the water supply at the highest and farthest *fixture* from the *building* supply shutoff valve when another *fixture* is used simultaneously

**Inspect:** Refer to Part I, "Definition and Scope", Paragraph A

**Inspector:** One who performs a *real estate inspection*

**Normal User Control:** Switch or other *device* that activates a *system or component* and is provided for use by an occupant of a *building*

**Operate:** Cause a *system, appliance, fixture, or device* to *function* using *normal user controls*

**Permanently Installed:** Fixed in place, e.g. screwed, bolted, nailed, or glued

**Primary Building:** A *building* that an *Inspector* has agreed to *inspect*

**Primary Parking structure:** A *building* for the purpose of vehicle storage associated with the *primary building*

**Readily Accessible:** Can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may harm persons or property

**Real Estate Inspection:** Refer to Part I, "Definitions and Scope", Paragraph A

**Representative Number:** Example, an average of one *component* per area for multiple similar *components* such as windows, doors, and electrical outlets

**Safety Hazard:** A *condition* that could result in significant physical injury

**Shut Down:** Disconnected or turned off in a way so as not to respond to *normal user controls*

**System:** An assemblage of various *components* designed to *function* as a whole

**Technically Exhaustive:** Examination beyond the scope of a *real estate inspection*, which may require disassembly, specialized knowledge, special equipment, measuring, calculating, quantifying, testing, exploratory probing, research, or analysis